

LEGAL DESCRIPTION

ASSESSORS ID NO: 2471-012-004
 TRACT: 19263
 LOT: 4
 ZONE: R-1-H

SCOPE OF WORK

PROPOSED 2999 S.F. TWO STORY SFD
 W/ ATTACHED 479.8 S.F. 2 CAR GARAGE AND 187 S.F.
 CONCRETE PAD IN THE REAR

BUILDING TYPE

TYPE V-B
 NUMBER OF STORIES: 2

BUILDING USE

SINGLE FAMILY RESIDENTIAL R-3

FAR CALCULATION

| | |
|-------------------------------|--------------|
| PROPERTY | 9,626.0 S.F. |
| EX. HOUSE TO BE DEMO | 1,317.0 S.F. |
| PR. TWO CAR GARAGE | 479.8 S.F. |
| PR. 1ST FLOOR | 1,516.4 S.F. |
| PR. 2ND FLOOR | 1,482.6 S.F. |
| PR. OPEN BALCONIES | 104.7 S.F. |
| PR. COVERED BALCONIES | 95.9 S.F. |
| PR. PORCH (OPEN ON TWO SIDES) | 137.0 S.F. |
| PR. COVERED PATIO | 193.3 S.F. |
| TOTAL HOUSE: | 2999.0 S.F. |

MAX FAR ALLOWABLE PER SECTION 10-1-603(D)(10):
 9626 X 0.35 = 3369.1 SF

MAX FAR ALLOWABLE FOR SINGLE FAMILY SPECIAL
 DEVELOPMENT PERMIT EXEMPTION:
 9626 X 0.35 = 3369.1 S.F.

FAR:
 479.8-400+1516.4+1482.6+95.9+193.3 = 3368.0 S.F.
 3368.0 < 3369.1

DRAWING INDEX

| | |
|--------------|--|
| A-1.0 | INDEX, INFORMATION, SITE PLAN, PREVAILING SETBACK |
| A-1.1 | FAR DIAGRAMS |
| A-1.2 | AVERAGE SLOPE CALCULATION, EXISTING SITE DEMO PLAN |
| A-2 | 1ST FLOOR PLAN, 2ND FLOOR PLAN, DOOR & WINDOW SCHEDULE |
| A-3 | SECTIONS |
| A-4.1, A-4.2 | ELEVATIONS |
| A-5 | ROOF PLAN |

FRONT YARD LANDSCAPING

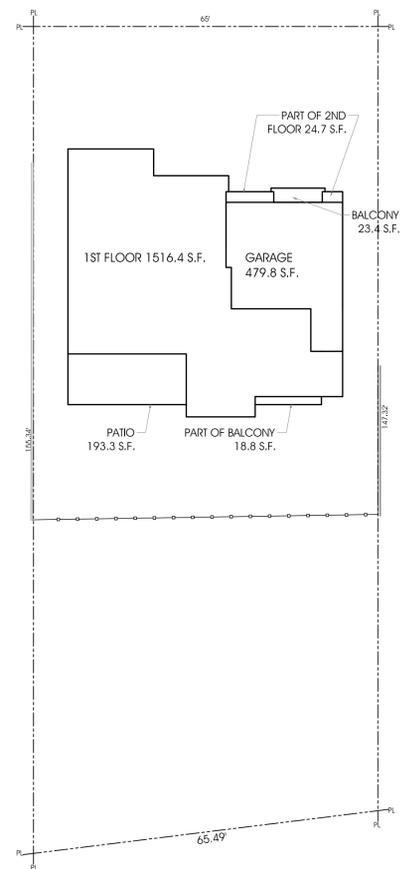
TOTAL FRONT YARD AREA: 1495.0 SF
 LANDSCAPING: 787.37 + 153.33 = 940.7 SF
 HARDSCAPING: 554.3 SF
 554.3 / 1495 = 37.1 % < 45%

LOT COVERAGE

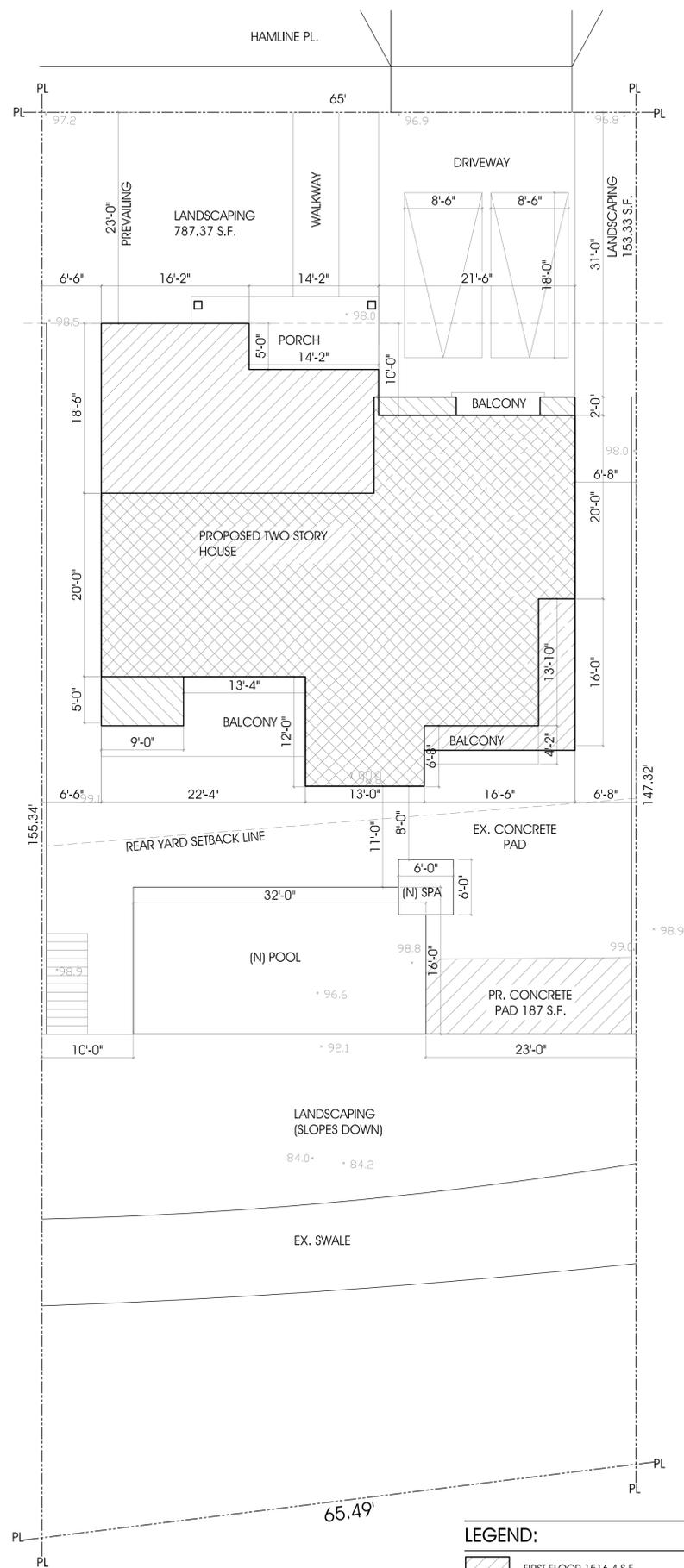
1516.4+479.8+23.4+24.7+193.3+18.8 = 2263.8
 2263.8/9626 = 23.5%

APPLICABLE CODES

- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA GREEN BUILDING CODE (CALGREEN)



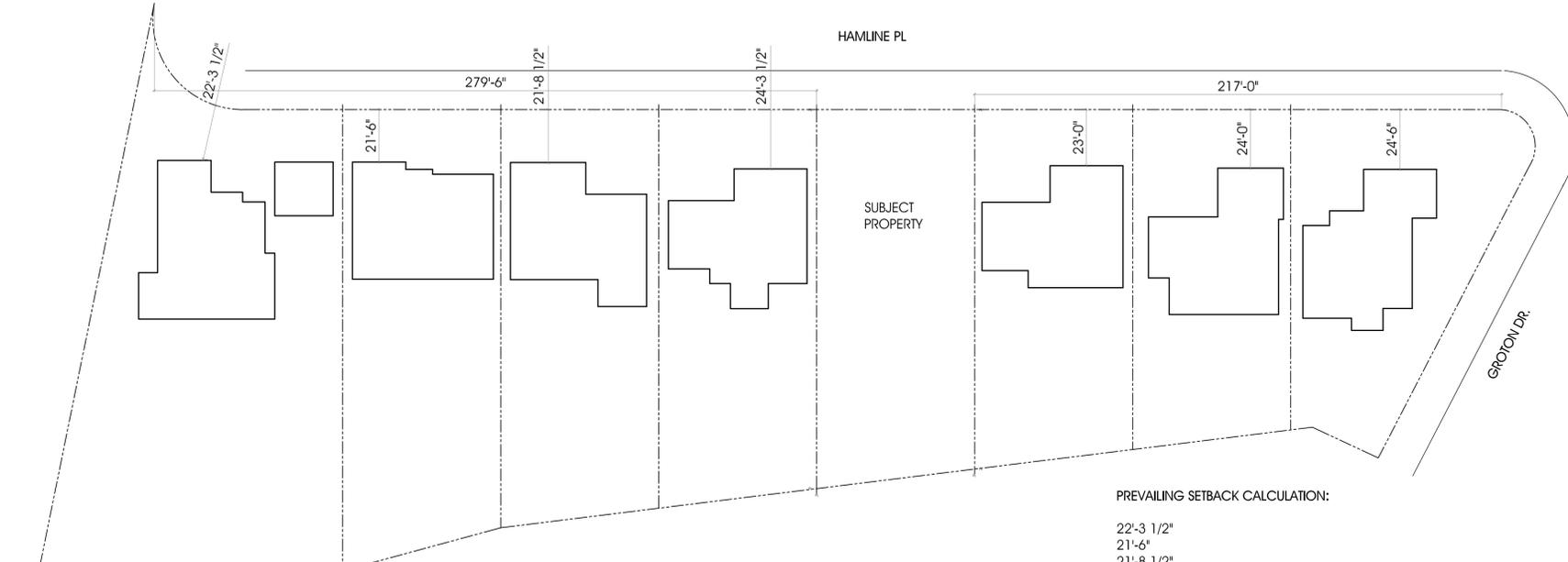
2 LOT COVERAGE DIAGRAM
 Scale: 1/16":1'-0"



1 PLOT PLAN
 Scale: 1/8":1'-0"

LEGEND:

| | |
|-------------------|--------------------------|
| [Hatched Pattern] | FIRST FLOOR 1516.4 S.F. |
| [Hatched Pattern] | SECOND FLOOR 1482.6 S.F. |
| [Hatched Pattern] | GARAGE 479.8 S.F. |



3 PREVAILING SETBACK
 Scale: 1/32":1'-0"

PREVAILING SETBACK CALCULATION:
 22'-3 1/2"
 21'-6"
 21'-8 1/2"
 24'-3 1/2"
 23'-0"
 24'-0"
 24'-6"

TOTAL: 161'-3" (1935")
 AVERAGE: 1935/7 = 276.4"
 SETBACK FOR PROPERTY: 23'-0"
 SETBACK PROVIDED: 23'-0"

ARCH-DESIGN
 & CONSTRUCTION CO., INC.
 TEL (818) 517-5224
 409 IRVING DR.
 BURBANK, CA 91504

OWNER: **OMAR TORRES**
 PROJECT: **PROPOSED TWO STORY S.F.D.**
 LOCATION: **1016 HAMLINE PL BURBANK CA 91504**

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARCH DESIGN & CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARCH DESIGN & CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC. PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

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| DRAWN BY | A.A. |
| CHECKED BY | ARAM M. |
| DESIGN BY | ARAM M. |
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SHEET NUMBER:
A-1.0
 OF SHEETS

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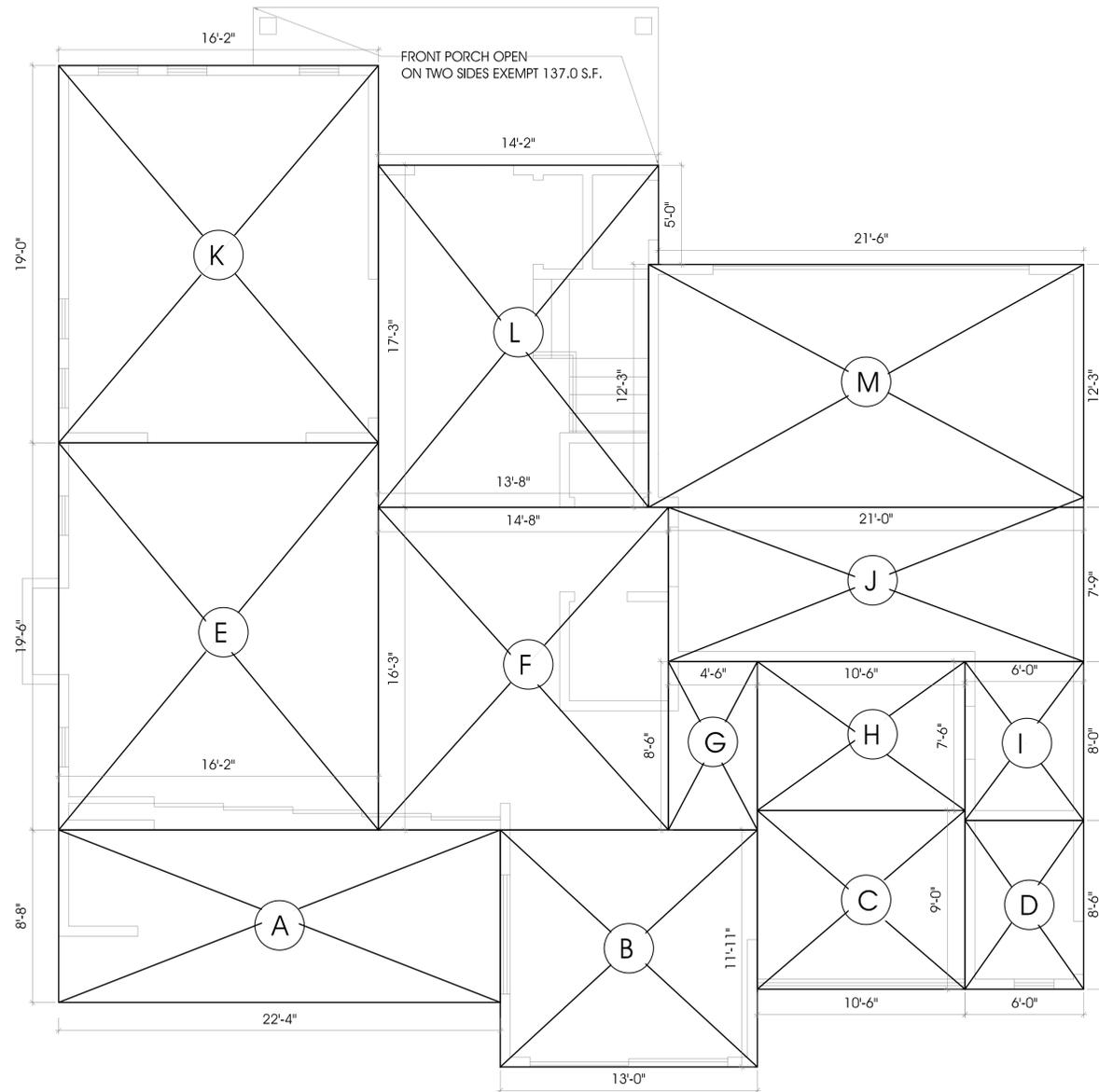
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SHEET NUMBER:

A-1.1

OF SHEETS



1 1ST FLOOR FAR DIAGRAM
Scale: 1/4":1'-0"

1ST FLOOR:

- B. 154.9
- C. 94.5
- D. 51.0
- E. 315.2
- F. 238.3
- G. 38.3
- H. 78.8
- K. 307.2
- L. 238.2

TOTAL: 1516.4 SQ. FT.

GARAGE (400 SF EXEMPT):

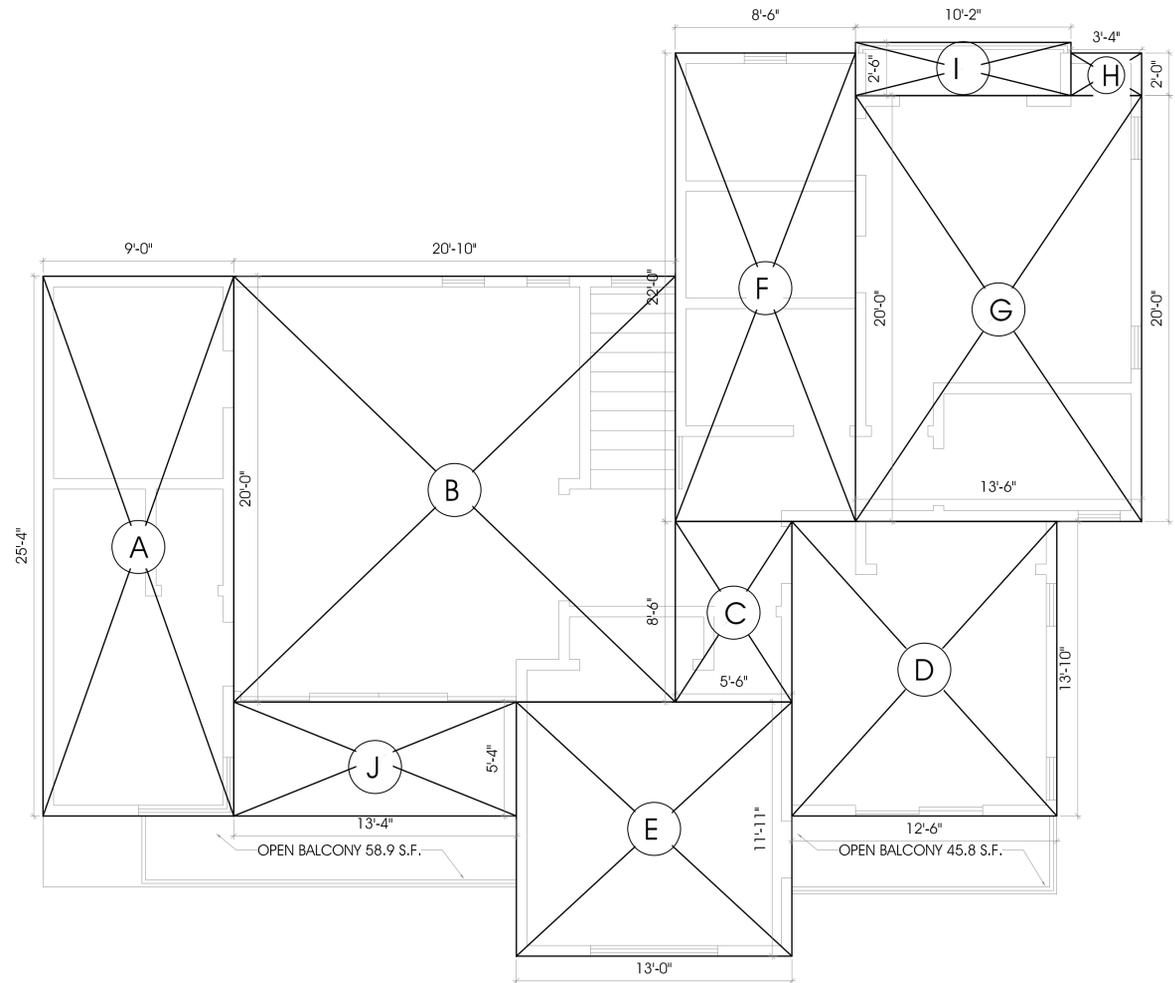
- I. 48.0
- J. 162.8
- M. 269.0

TOTAL GARAGE: 479.8 - 400 = 79.8 SQ. FT.

COVERED PATIO

- A. 193.3

TOTAL: 193.3 SQ. FT.



2 2ND FLOOR FAR DIAGRAM
Scale: 1/4":1'-0"

2ND FLOOR:

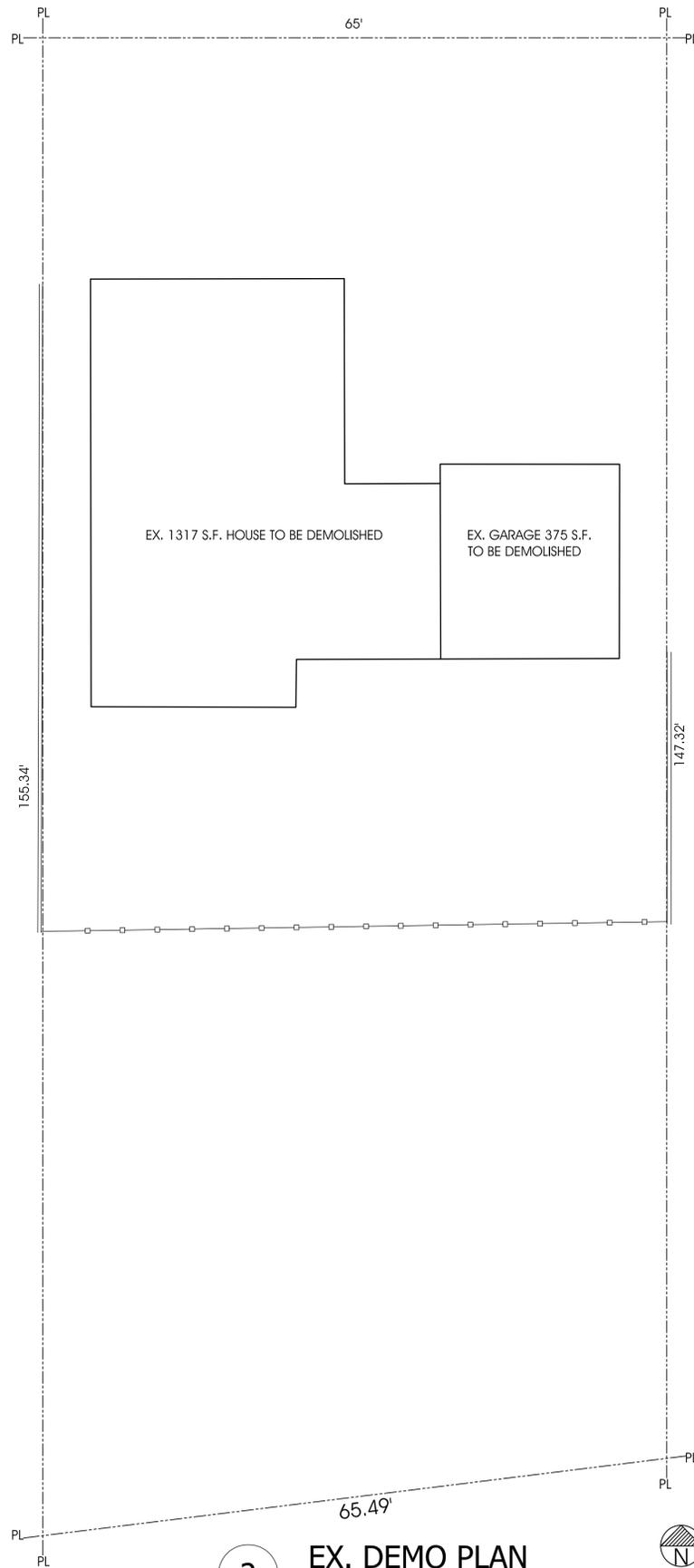
- A. 227.7
- B. 416.7
- C. 46.8
- D. 172.9
- E. 154.9
- F. 187.0
- G. 270.0
- H. 6.6

TOTAL: 1482.6 SQ. FT.

COVERED BALCONY :

- I. 25.4
- J. 70.5

TOTAL: 95.9 SQ.FT.

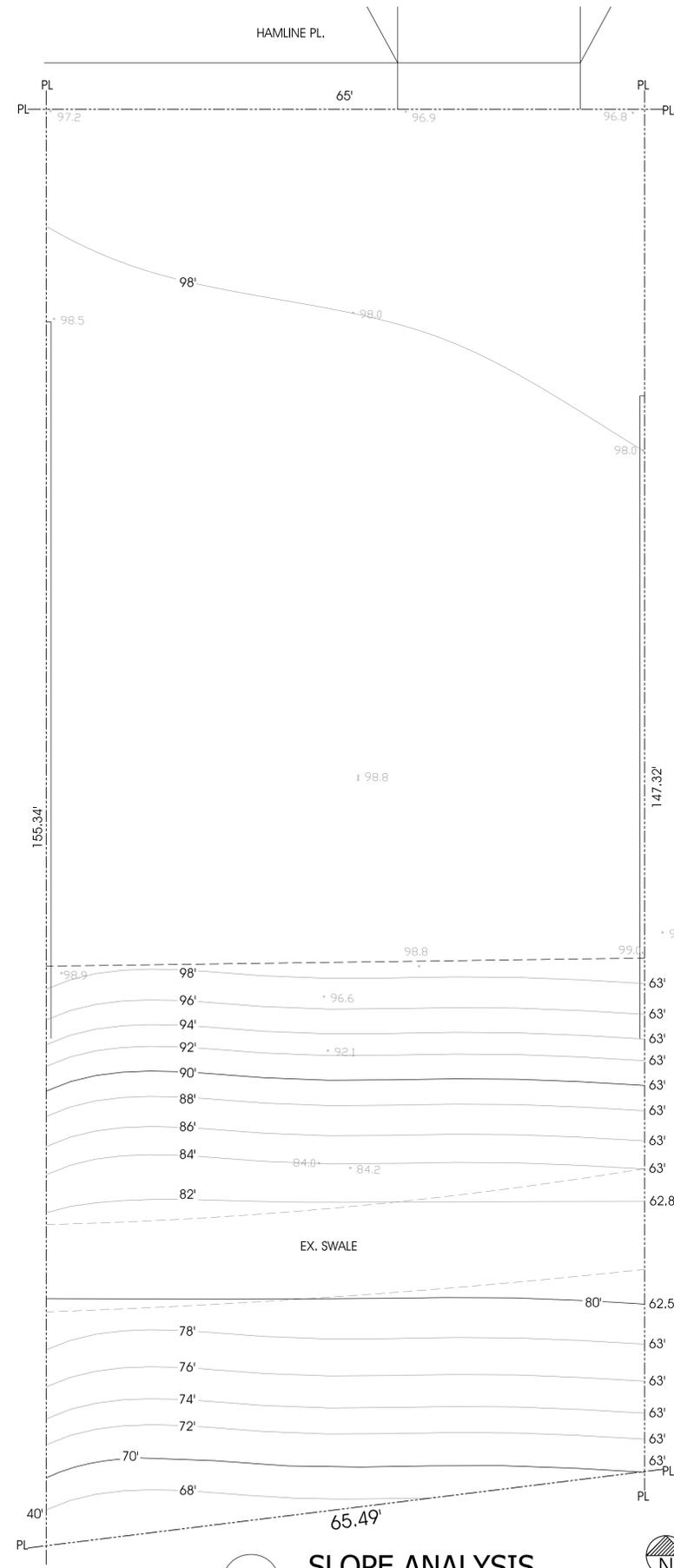


2 EX. DEMO PLAN
Scale: 1/8":1'-0"

AVERAGE SLOPE CALCULATION:

TOTAL LENGTH OF CONTOUR LINES: 921.3'
 CONTOUR INTERVAL: 2'
 LOT AREA: 9626 S.F.

$(2 \times 921.3 \times 100) / 9626 = 19.14\%$ AVERAGE SLOPE



1 SLOPE ANALYSIS
Scale: 1/8":1'-0"

| | |
|----------|----------------------------------|
| OWNER | OMAR TORRES |
| PROJECT | PROPOSED TWO STORY S.F.D. |
| LOCATION | 1016 HAMLINE PL BURBANK CA 91504 |

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SHEET NOTES:

SMOKE ALARM:

1. AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING 1000\$. [CIRC R 14.1, R314.6.2G.1]
2. BATTERY OPERATED SMOKE ALARMS PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDINGS UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS FOR WIRING. [CIRC R314.4, EXCEPTIONS 1,3]
3. SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CIRC R314.5]
4. SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. [CIRC R314.4]

ELECTRICAL FAN:

FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL. ELECTRICAL FAN MUST BE ON A SEPARATE SWITCH AS THE PRIMARY LIGHT IN THE BATHROOM.

SHEET NOTES CONT.:

CARBON MONOXIDE DETECTOR:

1. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING 1000\$. [CIRC R315.1, R315.2.2]
2. CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. [CIRC R315.1.2]
3. CO ALARM SHALL BE LISTED FOR COMPLIANCE WITH UL 2034, UL2075, AND MAINTAINED PER NFPA 720 [CIRC R315.1, R315.1.1]
4. CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE OF THE BEDROOMS AND ONE EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT [CIRC R315.2.6]
5. CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. [CIRC R315.1.3, R315.2.5]
6. IN EXISTING DWELLING UNIT A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES. [CIRC R315.2.4 EXCEPTIONS 2]

NEW DOOR SCHEDULE

| DOOR NUMBER | WIDTH X HEIGHT | MATERIAL | TYPE | GLAZING | REMARKS |
|-------------|----------------|-------------|---------|---------|----------|
| D-1 | 5'-0" X 8'-0" | SOLID WOOD | SWING | YES | TEMPERED |
| D-2 | 2'-8" X 6'-8" | HOLLOW CORE | SWING | NO | |
| D-3 | 3'-0" X 6'-8" | SOLID WOOD | SWING | NO | |
| D-4 | 17'-6" X 8'-0" | VINYL | SLIDING | YES | TEMPERED |
| D-5 | 10'-0" X 8'-0" | VINYL | SLIDING | YES | TEMPERED |
| D-6 | 2'-8" X 6'-8" | SOLID WOOD | SWING | NO | |
| D-7 | 13'-0" X 6'-8" | VINYL | SLIDING | YES | TEMPERED |
| D-8 | 6'-0" X 6'-8" | VINYL | SLIDING | YES | TEMPERED |
| D-9 | 5'-0" X 6'-8" | HOLLOW CORE | SWING | NO | |

NOTE: THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCLUDING TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

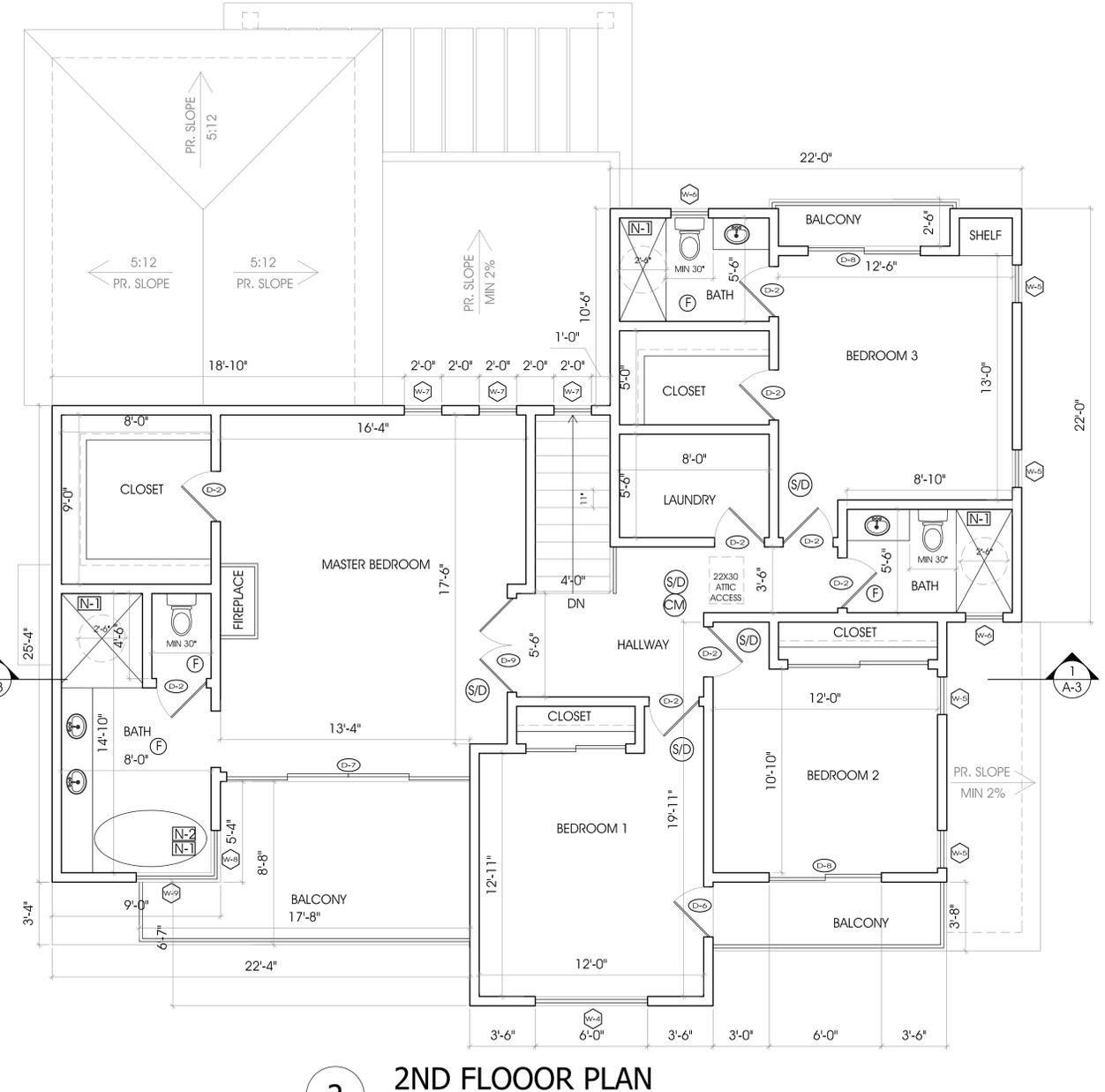
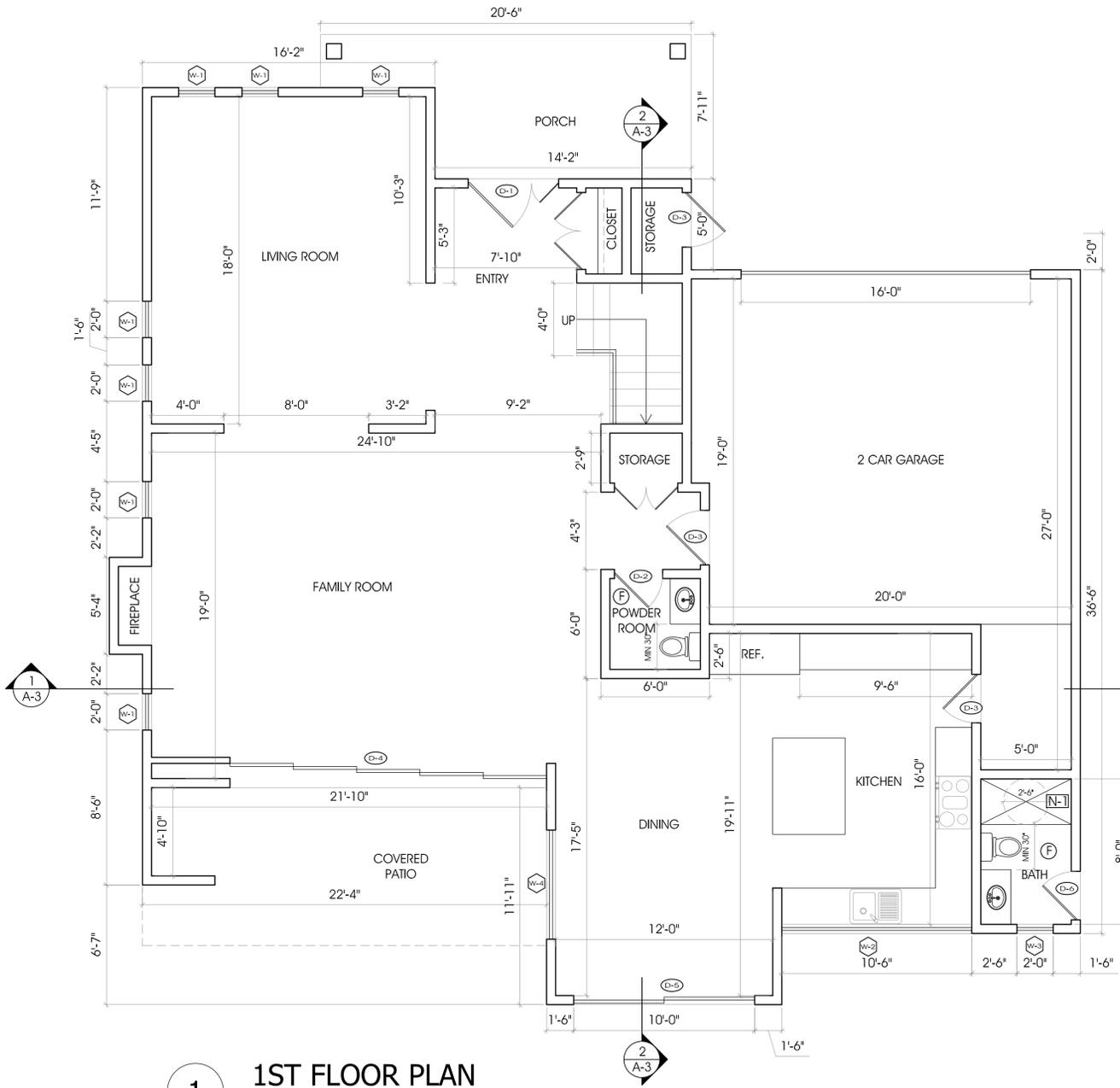
NEW WINDOW SCHEDULE

| WINDOW NUMBER | WIDTH X HEIGHT | MATERIAL | TYPE | BEDROOM EGRESS | TEMPERED GLASS | REMARKS |
|---------------|----------------|----------|-------------|----------------|----------------|---------|
| W-1 | 2'-0" X 6'-0" | VINYL | SINGLE HUNG | NO | YES | |
| W-2 | 10'-6" X 4'-6" | VINYL | SINGLE HUNG | NO | YES | |
| W-3 | 2'-0" X 4'-6" | VINYL | SLIDING | NO | YES | |
| W-4 | 6'-0" X 4'-0" | VINYL | SLIDING | NO | YES | |
| W-5 | 2'-0" X 5'-0" | VINYL | SINGLE HUNG | NO | YES | |
| W-6 | 2'-0" X 3'-0" | VINYL | SINGLE HUNG | NO | YES | |
| W-7 | 2'-0" X 2'-0" | VINYL | CASEMENT | NO | YES | |
| W-8 | 2'-6" X 3'-0" | VINYL | FIX | NO | YES | |
| W-9 | 4'-0" X 3'-0" | VINYL | FIX | NO | YES | |

NOTE: FOR ALL WINDOWS AND GLAZED DOORS U-FACTOR 0.25 AND SHGC 0.2

LEGEND:

- (S/D) HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK UP. SEE NOTE BELOW
- (F) 50 CFM VENTILATION FAN. ELECTRICAL FAN MUST BE ON A SEPARATE SWITCH AS THE PRIMARY LIGHT IN THE BATHROOM.
- (CM) CARBON MONOXIDE DETECTOR. SEE NOTE BELOW
- (N-1) PROVIDE 72" NON-ABSORBENT WALL SURFACE IN ALL BATHTUB AND SHOWER COMPARTMENTS
- (N-2) PROVIDE 12X12 UNDER TUB PLUMBING ACCESS
- NEW STUD WALL 2 X 4 @ 16 O.C.

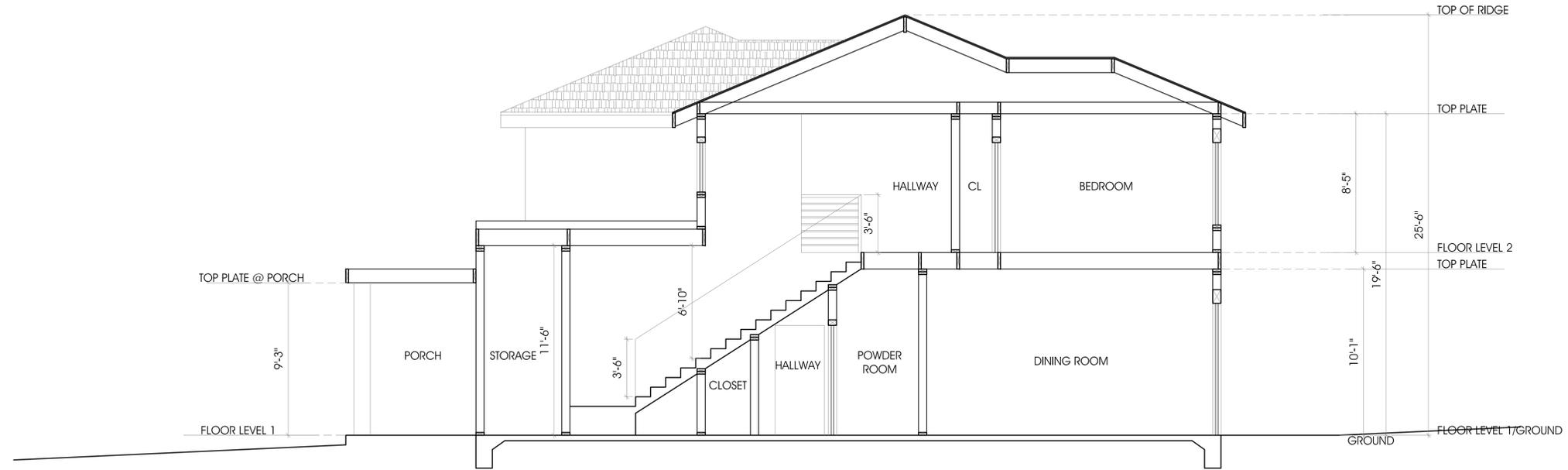


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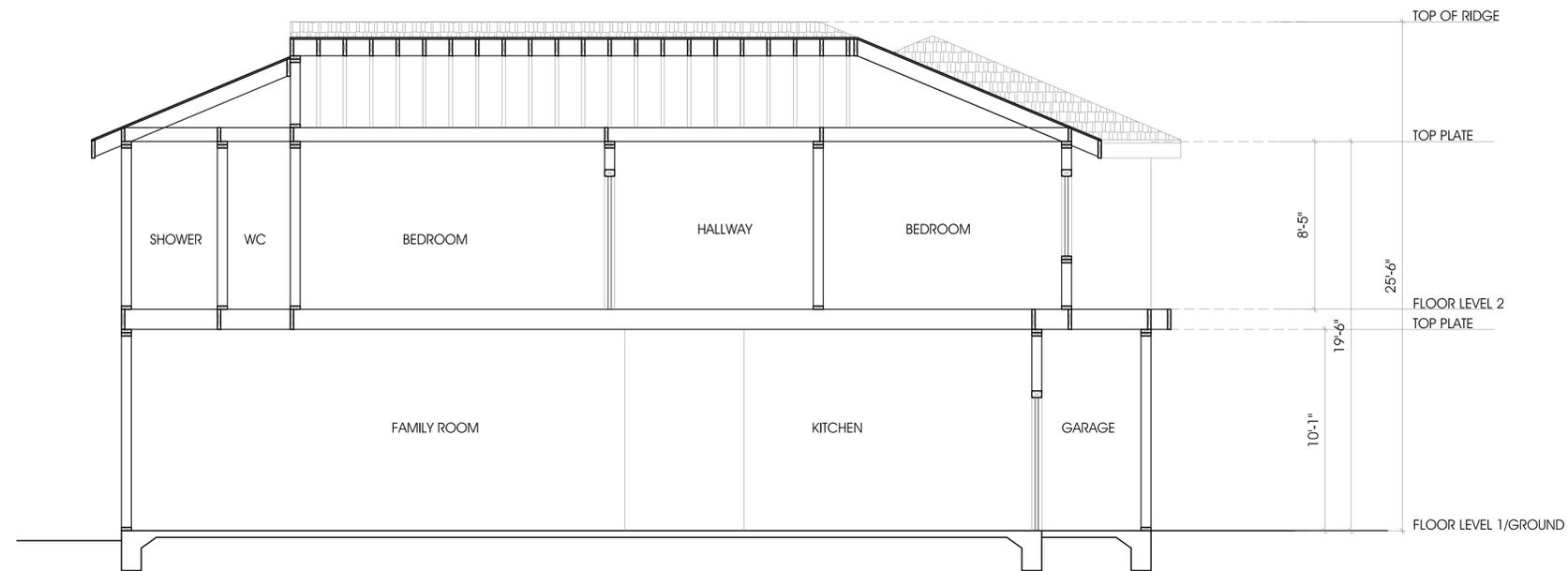
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| DRAWN BY | A.A. |
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| DESIGN BY | ARAM M. |
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2 SECTION A-A
Scale: 1/4":1'-0"



1 SECTION B-B
Scale: 1/4":1'-0"

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EXTERIOR FINISHES:

- 1 7/8" STUCCO
- 2 CLASS "A" COMP. SHINGLE ROOF
- 3 METAL RAILING
- 4 METAL CANOPY
- 5 LEDGE STONE VENEER

NOTE:
ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR REMOVAL OF NON-APPROVED WORK.



1 NORTH ELEVATION
Scale: 1/4":1'-0"



2 SOUTH ELEVATION
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SHEET NUMBER:
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OF SHEETS

EXTERIOR FINISHES:

- 1 7/8" STUCCO
- 2 CLASS "A" COMP. SHINGLE ROOF
- 3 METAL RAILING
- 4 METAL CANOPY
- 5 LEDGE STONE VENEER

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SIDE YARD MODULATION

WEST ELEVATION:

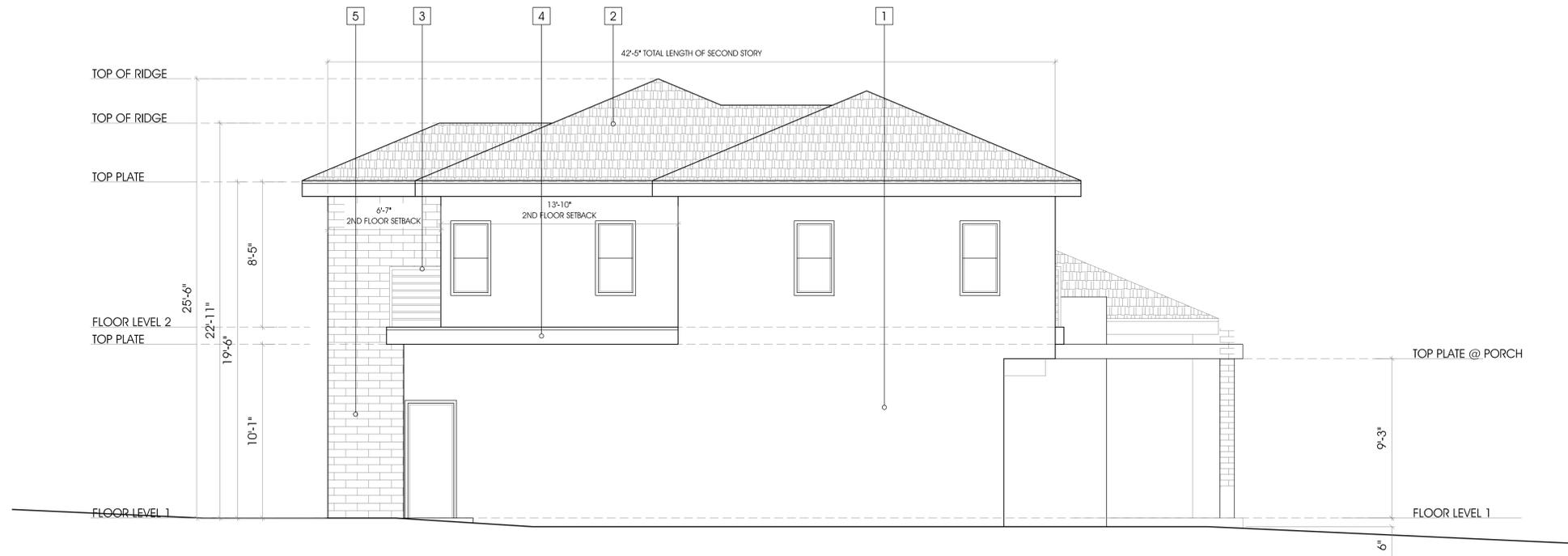
STANDARD E-2a. SIDE YARD BUILDING MODULATION ALTERNATIVE "A":

TOTAL LENGTH OF 2ND STORY: 42'-5"
MIN. 40% OF LENGTH OF 2ND STORY (42'-5" X 0.4): 17'-0"
LENGTH OF 2ND STORY SETBACK MIN. 4': 20'-5"

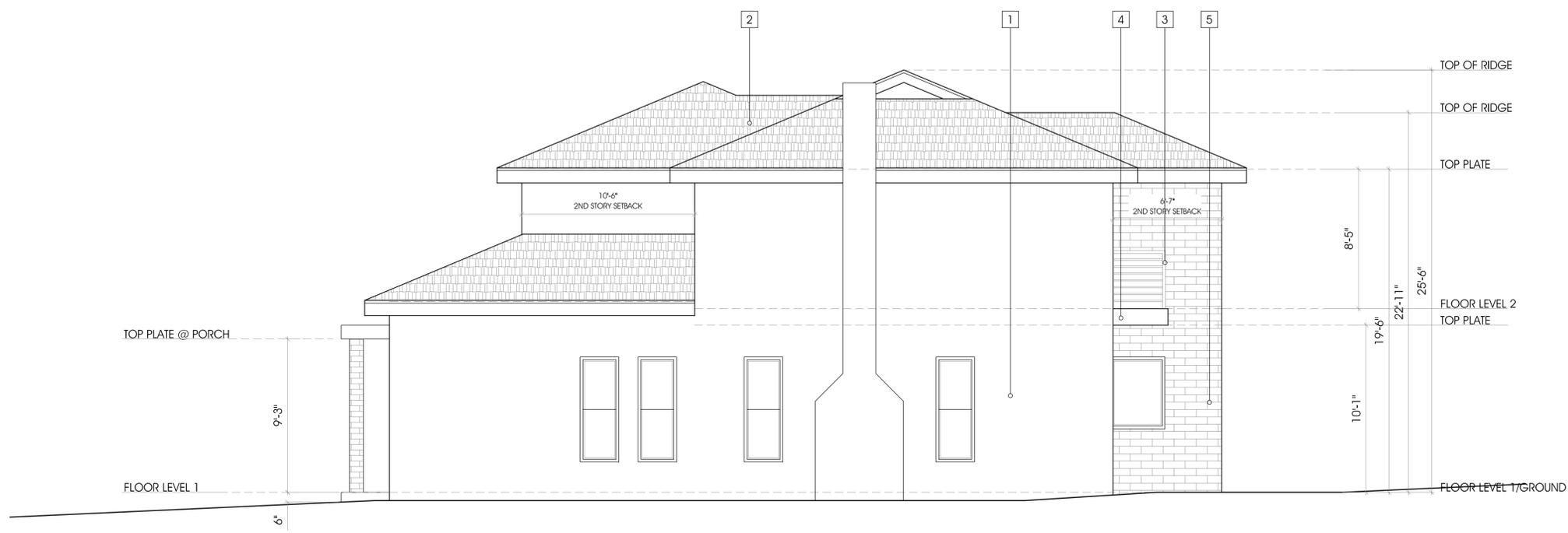
EAST ELEVATION:

STANDARD E-2a. SIDE YARD BUILDING MODULATION ALTERNATIVE "A":

TOTAL LENGTH OF 2ND STORY: 42'-5"
MIN. 40% OF LENGTH OF 2ND STORY (42'-5" X 0.4): 17'-0"
LENGTH OF 2ND STORY SETBACK MIN. 4': 17'-1"



1 WEST ELEVATION
Scale: 1/4":1'-0"



2 EAST ELEVATION
Scale: 1/4":1'-0"

ROOFING NOTES:

ROOFING MATERIAL: CLASS "A" COMPOSITION SHINGLE
ROOFING MANUFACTURER: GAF
PRODUCT ICC-ESR: 1475
NOTE: ROOFING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

ROOFING MATERIAL: CLASS "A" TORCH DOWN
ROOFING MANUFACTURER: GAF RUBEROID TORCH SMOOTH
PRODUCT ICC-ESR: 1274
NOTE: ROOFING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

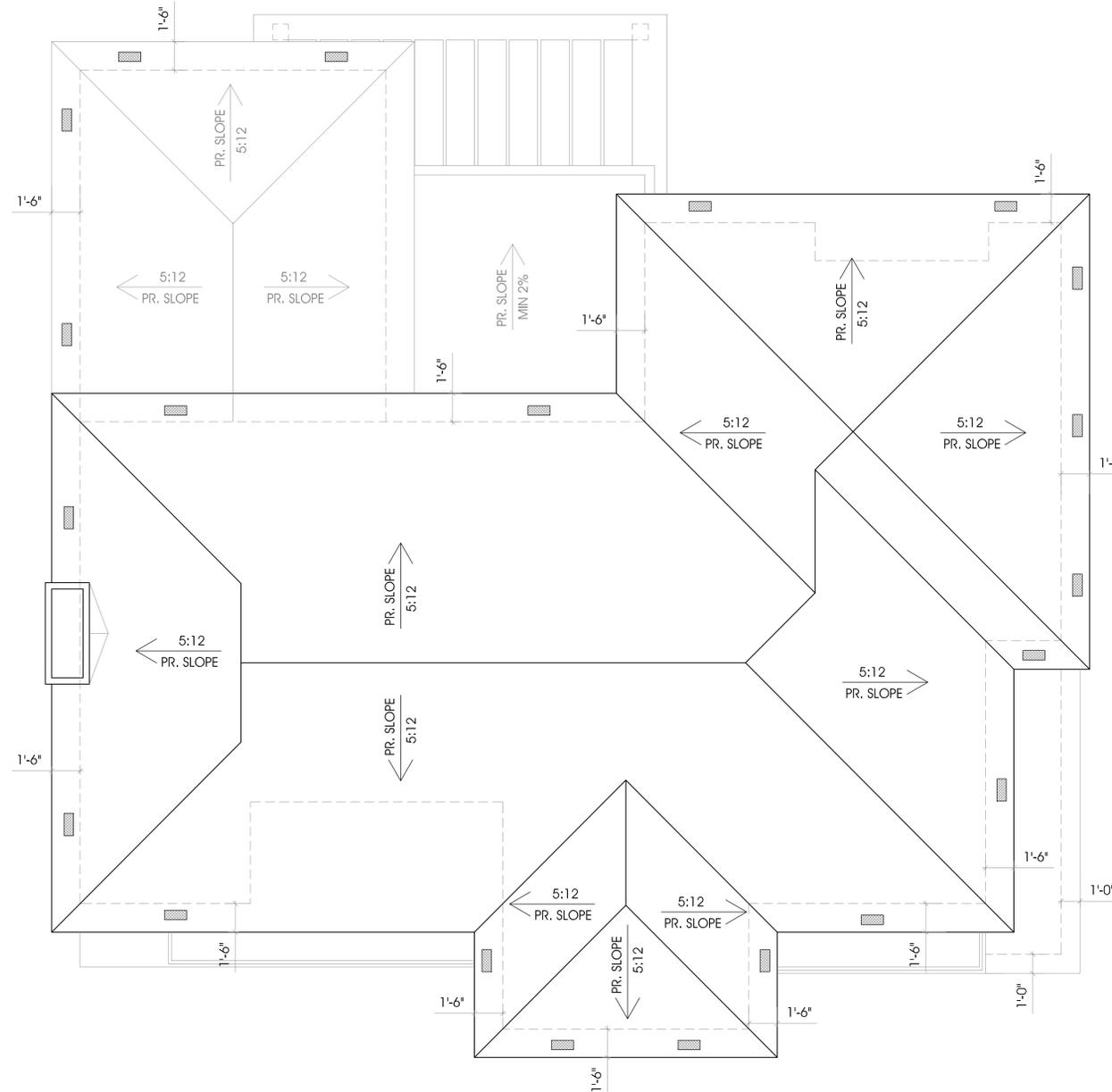
ATTIC VENT CALCULATION:

2ND FLOOR ATTIC AREA: 1464 S.F.
REQUIRED: $1464/150 = 9.76$ S.F.
PROVIDED: $18 \times 0.58 = 10.4$ S.F.
 $10.4 > 9.76$

EAVE VENT OPENING $6" \times 14" = 0.58$ S.F. EACH

1ST FLOOR ATTIC AREA: 300 S.F.
REQUIRED: $300/150 = 2$ S.F.
PROVIDED: $4 \times 0.58 = 2.3$ S.F.
 $2.3 > 2$

EAVE VENT OPENING $6" \times 14" = 0.58$ S.F. EACH



1 ROOF PLAN
Scale: 1/4"=1'-0"

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