



CITY OF BURBANK
COMMUNITY DEVELOPMENT DEPARTMENT

150 North Third Street, P.O. Box 6459, Burbank, California 91510-6459
www.burbankca.gov

SEPTEMBER 8, 2020

ANI MNATSAKIANIAN
409 IRVING DRIVE
BURBANK, CA 91504

**RE: Project No. 19-0006646 (Single Family Special Development Permit) – Approved
Located at 801 University Avenue**

Dear Ani:

This letter is to notify you that the Community Development Director has approved your application for a Single Family Special Development Permit (Project No. 19-0006646) for an expansion and remodel of a single-family residence. The property is located at 801 University Avenue in the R-1 (Single-Family Residential) zoning district. Enclosed is the approval with conditions.

Please be advised the decision of the Community Development Director will become final fifteen (15) days from your approval date (September 8, 2020), unless the decision is appealed to the Planning Board within these fifteen (15) days. Any appeal of the Director's decision must be submitted to the Planning Division with the applicable filing fee prior to the expiration of the fifteen (15) day appeal period, or by 5:00 p.m. on September 23, 2020. Please note, an appointment must be made for any appeal filed after 12 p.m. Monday through Friday. If no appeal is filed, then you can submit to the Building Division for Building Plan Check review the first business day following the conclusion of the fifteen (15) day appeal period.

If you have any questions, please contact me by phone at (818) 238-5250 or by email at gmirzaavakyan@burbankca.gov.

Sincerely,

GREG MIRZA-AVAKYAN
Associate Planner
Community Development Department

Community Development Department Director's Decision

DATE: September 8, 2020

PROJECT TITLE: Project No. 19-0006646 – Single Family Special Development Permit

PROJECT ADDRESS: 801 University Ave

APPLICANT: Ani Mnatsakanian

PROJECT DESCRIPTION: The project includes an expansion and remodel of an existing, 1,627-square-foot, single-story single-family residence. The proposed floor area on the lot is 2,864 square feet.

ZONING: R-1 **GENERAL PLAN:** Low Density Residential

MUNICIPAL CODE CONFORMANCE: The project conforms to the Burbank Municipal Code and required neighborhood compatibility design guidelines. The proposed Floor Area is 2,864 square feet, which is below the maximum allowed floor area of 3,282 square feet. The proposed lot coverage is 37.5%, which is within the maximum allowable 50%. The proposed street-side setback is at 8'-3", as required. The addition at the front is 27'-4" from the property line, behind the required front setback of 26'-6". The new portions of the building are proposed to maintain the existing building height of 15'-6", which is within the maximum allowable height of 30'-0".

ENVIRONMENTAL REVIEW: This project has been determined to be exempt from the California Environmental Quality Act (CEQA) in accordance with Section 15301(a) of the State CEQA Guidelines for minor additions to existing structures. The exemption is applicable to additions to existing structures, provided that the additions do not result in an increase of more than 10,000 square feet. The project site is supported by existing public services and facilities which are necessary to develop the property to the maximum development permissible under the General Plan; In addition, the project site is not located in an area that is environmentally sensitive.

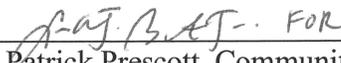
DATE SIGN POSTED ON-SITE: August 21, 2020

DATE PUBLIC NOTICE MAILED: August 19, 2020

DATE OF DIRECTOR'S DECISION: September 8, 2020

END OF APPEAL PERIOD: September 23, 2020

Greg Mirza-Avakyan, Associate Planner
Planning Division (818) 238-5250



Patrick Prescott, Community Development Director

SINGLE FAMILY SPECIAL DEVELOPMENT PERMIT NO. 19-0006646
(801 University Avenue – Ani Mnatsakanian, Applicant and Rubina Tumanian, Property Owner)

Findings for Granting a Single Family Special Development Permit

The Community Development Director finds the proposed project satisfies the requisite findings contained in the Burbank Municipal Code Section 10-1-607(C) necessary for approval of the Single Family Special Development Permit, subject to the attached conditions of approval.

- 1) *The house conforms to all of the required standards of this Article unless an exception has been approved.*

The project complies with applicable standards set forth in the Burbank Municipal Code, including building setbacks, heights, maximum floor area, and lot coverage for the house.

- The existing front yard setback of the residence is legal-nonconforming at 25'-0" from the front property line. The required front setback, defined as the average setback for houses located on the same side of the block within 250'-0" of the subject property, is 26'-6". The addition complies with this setback, and is located 27'-4" from the front property line. Because more than the 50% of the existing residence walls will be demolished, all of the setbacks must come into conformance with current code requirements. Consequently, the existing front setback of 25'-0" will be moved back to meet the required minimum of 26'-6". The proposed front porch projects 4'-0" into the average front setback line, as permitted by code.
 - The required side setback on both the interior and the street side is 10% of lot width. Because this is an irregularly-shaped lot, the applicant has provided the calculation for the average width of the lot, at 82'-3". Therefore, the required street side and interior setback is 8'-3". Both the street side and interior side additions meet this requirement.
 - The required rear setback is 15'-0". The proposed addition is 34'-5" from the rear property line.
 - The maximum allowable top-of-roof height is 30'-0" above adjacent natural grade. The proposed expansion of the residence does not increase the maximum height of the residence, which is 15'-6". The proposed top-of-plate height is 10'-8" at its highest point, within the maximum top-of-plate height of 20'-0".
 - The existing floor area on the lot is 1,627 square feet, proposed to be expanded to 2,864 square feet. The maximum floor area for this lot is 3,282 square feet. The proposed lot coverage is below the maximum of 50% at 37.5%. The proposal meets both floor area and lot coverage requirements.
 - The front and street-side yards comply with the minimum 45% hardscaped area at 43.2%.
- 2) *If the house has an FAR greater than .35, or is larger than 3,000 square feet, or involves an addition or remodel that requires a Permit (but the FAR remains less than .40 with the addition), the house has been reviewed against the Neighborhood Compatibility and the house complies with the City's Single Family Design Guidelines.*

The project has been reviewed for neighborhood compatibility and complies with the adopted Design Guidelines. Enclosed as Exhibit A is a completed Neighborhood Compatibility Review – Design Guidelines Checklist for the project. The proposed addition retains the Ranch

architectural style and incorporates consistent characteristic features through the overall building form and exterior finish materials. The use of consistent roof materials, window treatment, and wall cover and color will contribute to a 360-degree design. The house will have modulations that will create visual interest and avoid a “boxy” appearance. Most of the residences in the neighborhood are Minimal Traditional or Ranch. With the proposed additions, this residence will retain its Ranch character and will therefore be consistent with the surrounding neighborhood. Ranch is one of the Characteristic styles within the City of Burbank, and consistency with the attached Neighborhood Compatibility Review ensures that any additions retain the architectural style along with ensuring that all design elements extend to all exterior portions of the house.

- 3) *Conditions are necessary for the purpose of satisfying the required findings, ensuring conformance with the Design Guidelines, mitigating environmental or other impacts of the project, and/or protecting the public health, safety, convenience, or welfare.*

Conditions of Approval have been placed upon the project to satisfy required findings and standard city conditions to mitigate construction impacts of the project and protect the public health, safety, convenience, and welfare of the community. The project has been designed to comply with the City’s Neighborhood Compatibility Design Guidelines and conditions 1 through 88 have been incorporated into the project to ensure neighborhood compatibility and protection of public health, safety, and welfare.

SINGLE FAMILY SPECIAL DEVELOPMENT PERMIT NO. 19-0006646
(801 University Avenue – Ani Mnatsakanian, Applicant and Rubina Tumanian, Property Owner)

CONDITIONS OF APPROVAL

PLANNING DIVISION

1. Project No. 19-0006646 Single Family Special Development Permit, approves an expansion and remodel of an existing 1,627-square-foot, single-story single-family residence. The proposed floor area on the lot is 2,864 square feet. The property is located at 801 University Avenue the R-1 zone.
2. This permit shall expire if the scope of work is not initiated within one year of the date of this approval (expires on September 8, 2021), unless the Property Owner has diligently developed the proposed project as shown by the issuance of a grading, foundation, or building permit and the construction of substantial improvements.
3. The operation/construction on the site shall remain in substantial conformance with the request and with the application materials submitted by the applicant on October 15, 2019 and the project plans dated August 5, 2020, and approved and placed on file in the office of the Planning Division.
4. The applicant shall comply with all federal, state, and local laws. Violation or conviction of any of those laws in connection with the use will be cause for revocation of this permit.
5. This permit may be modified or revoked by the City should the determination be made that the structure or conditions under which it was permitted present detrimental impacts on neighboring properties.
6. The applicant shall list these conditions of approval in all construction plans submitted to the Building Division for a building permit. The applicant shall also provide a separate written document outlining how, or where, each of the conditions have been addressed in the building permit plan set for all City Division/Department conditions enclosed and provide the same number of copies as building plan sets submitted for Building Plan Check.
7. By signing and/or using this Single Family Development Permit, the permittee acknowledges all of the conditions imposed and accepts this permit subject to those conditions and with full awareness of the provisions of the Burbank Municipal Code. Failure of the permittee or property owners to sign these conditions does not affect their enforceability by the City or other responsible entity. These conditions are binding upon all future property owners and occupants of the subject property.
8. Exterior materials and designs shown on the approved set of plans dated August 5, 2020 must be the same used during construction. Any modifications to materials must be reviewed and approved by the Planning Division prior to installation.
9. The site must be landscaped per Section F.5 and F.6 of the Single Family Design Guidelines and Section 10-1-603(H) of the Burbank Municipal Code.

10. The applicant shall provide a minimum of two 15-gallon trees within the front or street-side yard. The planting area for said trees shall have a minimum interior dimension of five square feet.
11. Developer shall arrange for materials collection during construction, demolition, and occupancy with the City's Street & Solid Waste Division (Public Works Department) or Developer shall arrange for self-hauling to an authorized facility.
12. This Single Family Special Development Permit is subject to all comments/conditions from all the City Departments/Divisions (conditions attached) and incorporated herein by reference: Building Division, Public Works Department, Parks and Recreation, Burbank Water and Power, Fire Department, and Police Department.

LANDSCAPING

13. Residential landscape rehabilitation of 2,500 sq. ft. or greater shall comply with the Water Efficient Landscape Ordinance. A Landscape Documentation Package shall be submitted for review and approval. Please see attached worksheet.

BUILDING DIVISION

14. All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the 2019 edition of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards.
15. New construction projects within the City of Burbank are subject to MWELo review. New landscape areas for residential and non-residential projects between 500 and 2,500 square feet requiring a building or landscape permit, plan check or design review will be required to complete, either a Performance or Prescriptive Compliance Method.
16. Provide locations of all utility easements on the property.
17. Grading and drainage plans will be required. Topographical contour lines are to be indicated, showing existing and proposed contours.
18. Construction projects must comply with Best Management Practices for construction and stormwater runoff requirements of the National Pollutant Discharge Elimination System MS4 Permit.
19. The City's mandatory Construction & Demolition Debris Diversion Ordinance requires the recycling and diversion of at least 65% of construction and demolition debris. A refundable deposit and non-refundable administrative fee will be collected prior to permit issuance. The Ordinance applies to all demolitions and to new construction, additions, remodels, renovation, tenant improvement and alteration projects over 500 square feet in scope of work.
20. A stamped setback certification by a Licensed Surveyor will be required to certify the location of the new construction in relation to the setbacks prior to the first foundation inspection.

21. The California Division of Mines and Geology Active Fault Near-Source Zones Map for Burbank indicates the city is within 2 km - 5 km of the Verdugo and Hollywood Faults. Structural design of construction projects must address the impact of the Near-Fault Zones.
22. Plans submitted for plan check must be stamped by State-licensed architect or engineer unless the project is one of the following listed below and complies with conventional light wood frame construction requirements in the CBC:
 - Wood-framed, single-family dwellings not more than two stories in height;
 - Wood-framed, multi-family dwellings not more than two stories in height, and limited to four dwelling units per parcel;
 - Wood-framed, garages or accessory structures for single-family dwellings not more than two stories in height;
 - Non-structural or non-seismic storefronts, interior alterations or additions.
23. A Building Permit may be issued to the Property Owner provided that the work is limited to:
 - A single-family dwelling of wood frame construction not more than two stories and a basement in height.
 - Garages or other structures appurtenant to single-family dwellings of wood frame construction not more than two stories and basement in height.
 - Nonstructural or non-seismic alterations or additions.
24. Approved hours of construction are:
 - Monday – Friday 7:00 am to 7:00 pm
 - Saturday – 8:00 am to 5:00 pmNo construction is permitted by contractors or subcontractors after hours, on Sunday or on City holidays without prior written request and approval from the Community Development Department.
25. Deferral of any submittal items shall have prior approval of building official. The registered design professional in responsible charge shall list the deferred submittals on construction documents for review.
26. Screening will be required for equipment located in front and side yards. The screening will include the electrical panels, A/C compressor units, gas meters, and transformers. All screening will be subject to approval by Planning and Building divisions, and BWP.
27. Plans and reports submitted for Plan Check Review may be submitted electronically. For more information about the online submittal process, please contact Senior Plan Check Engineer Mario Osuna in Building Division at 818-238-5241.
28. All conditions of approval are to be reproduced on the construction document drawings as part of the Approved Construction Set.
29. All Departments that have provide Conditions of Approval are to receive a set of drawings for review and have provided final approval stamp on drawings, prior to issuance of Building Permit.

30. Five (5) sets of drawings shall be provided at the time of Plan Check Review. The following lists the necessary sheets per department:
- a. Planning – Full set of Plans
(1 set of Civil /Landscape/Architectural/Structural)
 - b. Building & Safety – Full set of Plans
(1 set of Civil /Landscape/Architectural/Structural)
 - c. Public Works – Partial set of Plans
(1 set of Civil /Landscape/Architectural/Structural)
 - d. Burbank Fire Department – Partial set of Plans
(1 set of Architectural/Structural)
 - e. Parks & Recreation – Partial set of Plans
(1 set of Civil /Landscape/Architectural)
Requires Site Plan with existing landscape to be removed
Requires Site Plan with new landscape
Requires the number of new bedrooms adding

PUBLIC WORKS DEPARTMENT

31. Applicant shall protect in place all survey monuments (City, County, State, Federal, and private). Pursuant to California Business and Professions Code Section 8771, when monuments exist that may be affected by the work, the monuments shall be located and referenced by or under the direction of a licensed land surveyor or licensed civil engineer legally authorized to practice land surveying, prior to construction, and a corner record or record of survey of the references shall be filed with the county surveyor. A permanent monument shall be reset or a witness monument or monuments set to perpetuate the location if any monument that could be affected, and a corner record or record of survey shall be filed with the county surveyor prior to the recording of a certificate of completion for the project.
32. Show the width and location of all existing and proposed easements [BMC 9-1-1-3203]. Plans must show 5'-0" pole line easement at rear of property.
33. No building appurtenances for utility or fire service connections shall encroach or project into public right-of-way (i.e. streets and alleys). Locations of these appurtenances shall be shown on the building site plan and the off-site improvement plans [BMC 7-3-701.1].
34. No structure is permitted in any public right-of-way or any public utility easements/pole line easements [BMC 7-3-701.1, BMC 9-1-1-3203].
35. Any work within the public right-of-way must be permitted and approved by the Public Works Department before construction can commence. All construction work in the public right-of-way must comply with Burbank Standard Plans and must be constructed to the satisfaction of the City Engineer. A Public Works **EXCAVATION PERMIT** is required. The excavation permit requires a deposit acceptable to the Public Works Director to guarantee timely construction of all off-site improvements. Burbank Standard Plans can be accessed at: <http://file.burbankca.gov/publicworks/OnlineCounter/main/index.htm>
36. Prior to the issuance of a Building Permit, submit on-site drainage plans to Public Works for review. On-site drainage shall not flow across the public parkway (sidewalk) or onto adjacent

private property. It should be conveyed by underwalk drains to the gutter through the curb face [BMC 7-1-117, BMC 7-3-102].

37. Prior to the issuance of a Building Permit, Public Works Permit Division to verify and sign off that the 5' pole line easement is cleared of any existing and/or proposed permanent structures prior to the start of construction.
38. Prior to the issuance of a Building Permit, submitted plans should include easements, elevations, right-of-way/property lines, dedication, location of existing/proposed utilities and any encroachments.
39. Prior to the issuance of Certificate of Occupancy, provide verification from the City of Burbank, Building Division showing the 5' pole line easement is cleared of all permanent structures at the rear of the property after construction is completed.
40. Prior to the issuance of Certificate of Occupancy, any portion of public sidewalk, curb or gutter that is broken, uneven or uplifted at the end of the project must be reconstructed to the satisfaction of the City Engineer. That reconstruction will be required whether the damage is pre-existing or is a result of the project. Contact the Public Works Inspection Office at (818) 238-3955 to have these areas inspected and identified after obtaining a Public Works Excavation Permit [BMC 7-3-501].
41. If any utility cuts or construction related impacts are made on Catalina Street adjacent to the property, applicant will have to restore the street fronting the property per City of Burbank paving requirements.

For additional information or questions, please contact Anthony Roman, Civil Engineer Associate, at (818) 238-3945.

42. The location, depth, and dimensions of all sanitary sewer lines and easements must be shown on the plans.
43. Every building or structure in which plumbing fixtures are installed which conveys sewage must be connected to the municipal wastewater system [BMC 8-1-104].
44. No person shall connect to or tap an existing public sewer without obtaining a permit [BMC 8-1-301].
45. Any existing fixture or connection to the sewer main line must be capped before a building demolition occurs.
46. A backwater valve is required on every private sewer lateral(s) connected to a private building(s), unless it can be shown that all fixtures contained therein have flood level rim elevations above the elevation of the next upstream maintenance hole cover of the public sewer serving the property, or a conditional waiver is granted by the Director [BMC 8-1-313]. Please note that Public Works' Wastewater Division will not sign off on the Certificate of Occupancy until the owner/developer provides proof that the backwater valve(s) has been installed.

47. Per BMC 8-1-1004.B (3), a Pool Discharge Permit is to be issued by the Public Works Counter and \$37.75 fee (fiscal year 2019-20) is required each time a single family residential pool is emptied. Please refer to the enclosed pool discharge brochure. If the proposed pool/spa contains salt water, please note that the salt water pool/spa discharges are currently conditionally allowed to discharge into the storm drain system, subject to meeting (and not exceeding) the following water quality objectives, in addition to other BMP requirements: TDS = 950 mg/l, Sulfate = 300 mg/l, Chloride = 190 mg/l. This conditional allowance and the limits may be changed by the Regional Water Quality Control Board in the future. The City strongly discourages the use of saltwater pools.
48. Per BMC 9-3-407, Best Management Practices shall apply to all construction projects and shall be required from the time of land clearing, demolition or commencement of construction until receipt of a certificate of occupancy.
49. Certain construction and re-construction activities on private property will need to comply with post-construction Best Management Practices (BMPs), which include Section 8-1-1007 and 9-3-414.D of the BMC authorizing the City to require projects to comply with the Standard Urban Stormwater Mitigation Plan provisions and the City's Low Impact Development (LID) ordinance. For questions on these requirements, please contact the City's Building Division at (818) 238-5220.

For additional information or questions, please contact Kenneth Kozovich at (818) 238-3932.

50. There shall be a designated location on the property for all solid waste containers and/or bins. Containers are not to be visible from the street.

For additional information or questions, please contact Public Works Field Services at (818) 238-3800.

PARKS AND RECREATION DEPARTMENT

51. Submit landscape and irrigation plans prepared by a licensed landscape architect. Must comply with Municipal Water Efficient Landscape Ordinance (MWELo) requirements if over 500 square feet of landscape.
52. Landscape plan shall include the following note: "If the owner elect to install the street trees, they must contact the Forestry Supervisor, at (818) 238-5343, at least forty-eight (48) hours prior to installation. Failure to contact the City for inspection and installation may cause the removal and replacement at the owner's expense."
53. Provide an Arborist Valuation for all trees and landscape removed for this project.
54. Existing street trees are to remain. If any street trees are removed:
 - a. Any street trees that are removed shall be replaced. Contact Forestry Supervisor (818) 238-5343 for a list of approved street trees.
 - b. Contact Forestry Services at (818) 238-5343 for removal fee.
 - c. All street trees shall be a minimum of 24" box size.
 - d. Trees in grass shall be installed with Arbor Guards.
 - e. Tree wells are required.

- f. Provide irrigation bubbler to street trees.
- g. Provide automatically controlled irrigation system to the parkway.

55. Park Development Fee shall be paid prior to the issuance of Building Permits: \$150/ bedroom.
Please provide existing floor plan.

BURBANK WATER AND POWER

Electric Services Division

56. The proposed new construction will conflict with the existing electrical service panel, so the applicant will need to contact the Residential Service Planner at 818-238-3647 to obtain a confirmation of electric service for permanent and temporary power. BWP can provide electric service of 400 amps or less to the property. Overhead service is not possible at the same location because the applicant is proposing a new addition where the existing service panel is located. Overhead service may instead be possible on the right side or right rear side of the proposed addition with conditions.

Prior to final plan approval, contact the Residential Service Planner to determine the new service location and to discuss BWP's electric service requirements. A load schedule should be provided at that time.

Water Division

- 57. There is currently a 5/8" meter at this address, which is substandard and will have to be upgraded.
- 58. The applicant will have to submit plans for the usual plan check process to determine the adequate meter service and size.
- 59. Please see attached "Sizing Water Meter and Service Line" form. If correct, please initial inside the red circle, otherwise fill out the blank form accordingly and initial.
- 60. The applicant shall be responsible for all additional costs of connection, installation and abandonment of water services in accordance with Burbank Water and Power (BWP) Rules and Regulations.

FIRE DEPARTMENT

- 61. Provide construction site security by means of a six-foot high fence maintained around the entire site or a qualified fireguard when required by the Fire Code Official.
- 62. Provide an automatic fire sprinkler system in accordance with the Burbank Municipal Code.
- 63. Provide electrical supervision for all valves controlling the water supply and all water flow switches on all fire sprinkler systems where the number of sprinklers is 20 or more.
- 64. Provide a fire alarm system to notify all occupants of automatic fire sprinkler water flow.

65. Provide a Knox key box for fire department access.
66. Provide a Knox KS-2 key access switch for security gates.
67. Provide address numbers a minimum of 4 inches high for residential structures and six inches high for all other occupancies with $\frac{3}{4}$ inch stroke to identify the premises. Numbers shall be plainly visible from the street or road fronting the property and from the alley or rear accessway to the property.
68. 2A10BC fire extinguishers shall be provided and located as directed by the Fire Code Official in the field. All portable fire extinguishers shall be installed on a positive latching bracket or within an enclosed cabinet.
69. Exit doors shall be openable from the inside without the use of a key or any special knowledge or effort. All locking devices shall be of an approved type.
70. Provide a fire alarm system.
71. Fire apparatus access roads shall be provided in accordance with the California Fire Code, for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction when any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building or facility. More than one fire apparatus road shall be provided when it is determined by the chief that access by a single road might be impaired by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access. Access during construction shall be maintained in accordance with the CFC/BMC.
72. Specifications for fire apparatus access roads shall be provided and maintained in accordance with the California Fire Code.
73. Plans for fire apparatus access road shall be submitted to the fire department for review and approval prior to construction.
74. Plans and specifications for fire hydrant systems shall be submitted to the fire department for review and approval prior to construction.
75. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
76. Approved signs or other approved notices shall be provided and maintained, at the expense of the person(s) in possession of the property, for fire apparatus access roads to identify such roads and prohibit the obstruction thereof or both.
77. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to all premises upon which facilities, buildings, or portions of buildings are hereafter constructed or moved into or within the jurisdiction. When any portion of the facility

or building protected is in excess of 150 from a water supply on a public street, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains capable of supplying the required fire flow shall be provided when required by the chief.

78. All exits, fire department access and fire protection shall be maintained in accordance with the California Fire Code during construction.
79. Any fire hydrants for this block shall be upgraded with a 4" X 2-2 1/2" outlets. Contact the Water Division at 238-3500 for specifications on the type fire hydrants to be provided.
80. Provide smoke detection for dwelling units, congregate residences and hotel or lodging guestrooms that are used for sleeping purposes.
81. Power and location of smoke detectors in Group R occupancies shall be in compliance with the California Fire Code, California Building Code as amended by the Burbank Municipal Code.
82. All existing single-family dwelling units intended for human occupancy shall have installed on or before July 1, 2011 carbon monoxide detectors in accordance with the Health & Safety Code §17926.
83. All existing Multi-dwelling units intended for human occupancy shall have installed on or before January 1, 2013 carbon monoxide detectors in accordance with the Health & Safety Code §17926.
84. In order to determine fire flow requirements for this building, the following information shall be provided prior to issuing a building permit for final fire department plan check:
 - a. Building Type Construction as defined by the California Building Code.
 - b. Square feet of the building.

POLICE DEPARTMENT

85. All outside lighting shall comply with the requirements of Section 5-3-505 BMC. Required lighting devices shall have vandal resistant covers.
86. Secure fencing around the construction site with locking gates and appropriate lighting shall be installed during construction to prevent trespassing and theft. During construction, the Police Department shall be given emergency contact information of contractors and owners for any problems encountered after normal construction hours.
87. To ensure that construction personnel are aware of the restricted construction times, the developer shall install professionally made sign(s) 2 ft. X 3 ft. in size in location(s) satisfactory to the City Planner and the Police Department that states, "NOTICE: THE CITY OF BURBANK LIMITS CONSTRUCTION ACTIVITIES OF THIS PROJECT (DEMOLITION, EXCAVATION, GRADING, ACTUAL CONSTRUCTION, AND LANDSCAPING) as follows: 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY, AND FROM 8:00 AM TO 5:00 PM ON SATURDAY. THERE SHALL BE NO WORK PERFORMED ON SUNDAYS OR ON MAJOR HOLIDAYS." Any exceptions would be

subject to the approval of the Directors of both the Community Development and Public Works Departments.

88. All residential structures shall display a street number in a prominent position so that it is easily visible from the street. The numbers shall be at least four (4) inches in height, of a color contrasting to the background, and located so they may be clearly seen and read. The numbers shall be illuminated during darkness. If the structure has rear vehicle access, numbers shall be placed there as well (9-2-505.1(a) BMC). The Fire or Police Departments may require the size of the numbers to be increased or provided in additional locations if the distance from or orientation to the street limits visibility.

For additional information or questions, please contact Sergeant Green at (818) 238-3240 or dgreen@burbankca.gov.

X _____
Signature of Applicant/Permittee

X _____
Signature of Property Owner



Burbank Water and Power - Water Engineering

SIZING WATER METER AND SERVICE LINE

(Per California Plumbing Code, 2016 Edition, Title 24, Part 5)

Owner's Name: _____	Date: _____
Project Address: _____	Agent: _____
Zone: _____	Agent Ph.#: _____
Owner's Phone #: _____	(Home, Business, or Cell)

Description	Fixture Quantities	No. of Fixture Units		SubTotal
		Private Use	Public Use	
Bathtub or Combination Bath/Shower (fill)		4	4	
3/4" Bathtub Fill Valve		10	10	
Shower, per head		2	2	
Clothes washer		4	4	
Dishwasher, domestic		1.5	1.5	
Hose Bibb		2.5	2.5	
Hose Bibb, each additional ⁴		1	1	
Lawn Sprinkler each head ²		1	1	
Sinks				
Kitchen, domestic		1.5	1.5	
Bar		1	2	
Bathroom (lavatory)		1	1	
Laundry		1.5	1.5	
Service or Mop Basin		1.5	3	
Wash-up, each set of faucets		-	2	
Clinic Faucet		-	3	
Clinic Flushometer Valve with or without faucet		-	8	
Water Closet, 1.6 GPF Gravity Tank		2.5	2.5	
Water Closet, 1.6 GPF Flushometer Tank		2.5	2.5	
Water Closet, 1.6 GPF Flushometer Valve		See Note 5		
Water Closet, greater than 1.6 GPF Gravity Tank		3	5.5	
Water Closet, greater than 1.6 GPF Flushometer Valve		See Note 5		
Urinal, 1.0 GPF Flushometer Valve		See Note 5		
Urinal, greater than 1.0 GPF Flushometer Valve		See Note 5		
Urinal, flush tank		2	2	
Bidet		1	-	
Dental Unit, cuspidor		-	1	
Drinking Fountain or Watercooler		0.5	0.5	
Washfountain, circular spray		-	4	
Mobile Home, each (minimum)		6	-	
Owner's/Agent's initials: _____		Total Fixture Units		
Distance from meter to most remote outlet				_____

Notes:

1. Appliances, Appurtenances or Fixtures not included in this Table may be sized by reference to fixtures having a similar flow rate and frequency of use.
2. For fixtures or supply connections likely to impose continuous flow demands, determine the required flow in gallons per minute (GPM) and add it separately to the demand (in GPM) for the distribution system or portions thereof.
3. Reducing fixture unit loading for additional hose bibbs is to be used only when sizing total building demand and for pipe sizing when more than one hose bibb is supplied by a segment of water distributing pipe. The fixture branch to each hose bibb shall be sized on the basis of 2.5 fixture units.
4. Fixture quantities are total plumbing fixtures existing and new.
5. When sizing flushometer systems, see 610.10

Pressure at highest outlet	60+ PSI
City to Install Meter and Service Size	_____
Customer to Install Min. Building Supply Line Size (from meter to house)	_____



Burbank Water and Power - Water Engineering

SIZING WATER METER AND SERVICE LINE

(Per California Plumbing Code, 2016 Edition, Title 24, Part 5)

Owner's Name:	HAKOP MINASYAN	Date:	1/15/2020
Project Address:	801 UNIVERSITY DRIVE	Agent :	ARCH-DESIGN & CONSTRUCTION INC
Zone:	R-1	Agent Ph.#:	818-517-5224
Owner's Phone #:	818-419-7173	(Home, Business, or Cell)	

Description	Water Supply Fixture Units			
	Fixture	No. of Fixture Units		SubTotal
		Private Use	Public Use	
Bathtub or Combination Bath/Shower (fill)	1	4	4	4
3/4" Bathtub Fill Valve		10	10	0
Shower, per head	4	2	2	8
Clothes washer	1	4	4	4
Dishwasher, domestic	1	1.5	1.5	1.5
Hose Bibb	1	2.5	2.5	2.5
Hose Bibb, each additional ⁴	1	1	1	1
Lawn Sprinkler each head ²		1	1	0
Sinks				
Kitchen, domestic	1	1.5	1.5	1.5
Bar		1	2	0
Bathroom (lavatory)	5	1	1	5
Laundry		1.5	1.5	0
Service or Mop Basin		1.5	3	0
Wash-up, each set of faucets		-	2	0
Clinic Faucet		-	3	0
Clinic Flushometer Valve with or without faucet		-	8	0
Water Closet, 1.6 GPF Gravity Tank	4	2.5	2.5	10
Water Closet, 1.6 GPF Flushometer Tank		2.5	2.5	0
Water Closet, 1.6 GPF Flushometer Valve		See Note 5		0
Water Closet, greater than 1.6 GPF Gravity Tank		3	5.5	0
Water Closet, greater than 1.6 GPF Flushometer Valve		See Note 5		0
Urinal, 1.0 GPF Flushometer Valve		See Note 5		0
Urinal, greater than 1.0 GPF Flushometer Valve		See Note 5		0
Urinal, flush tank		2	2	0
Bidet		1	-	0
Dental Unit, cuspidor		-	1	0
Drinking Fountain or Watercooler		0.5	0.5	0
Washfountain, circular spray		-	4	0
Mobile Home, each (minimum)		6	-	0
Owner's/Agent's initials: _____	Total Fixture Units			37.5
Distance from meter to most remote outlet				82 ft.

Notes:

1. Appliances, Appurtenances or Fixtures not included in this Table may be sized by reference to fixtures having a similar flow rate and frequency of use.
2. For fixtures or supply connections likely to impose continuous flow demands, determine the required flow in gallons per minute (GPM) and add it separately to the demand (in GPM) for the distribution system or portions thereof.
3. Reducing fixture unit loading for additional hose bibbs is to be used only when sizing total building demand and for pipe sizing when more than one hose bibb is supplied by a segment of water distributing pipe. The fixture branch to each hose bibb shall be sized on the basis of 2.5 fixture units.
4. Fixture quantities are total plumbing fixtures existing and new.
5. When sizing flushometer systems, see 610.10

Pressure at highest outlet	60+
City to Install Meter and Service Size	3/4"
Customer to Install Min. Building Supply Line Size (from meter to house)	1"

Appendix B – Sample Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto)

Hydrozone # /Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^e
Regular Landscape Areas							
				Totals	(A)	(B)	
Special Landscape Areas							
				1			
				1			
				1			
				Totals	(C)	(D)	
				ETWU Total			
				Maximum Allowed Water Allowance (MAWA)^e			

^aHydrozone #/Planting Description

E.g

1.) front lawn

2.) low water use plantings

^bIrrigation Method

overhead spray

or drip

^cIrrigation Efficiency

0.75 for spray head

0.81 for drip

^dETWU (Annual Gallons Required) = Eto x

0.62 x ETAF x Area

where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

^eMAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas

Total ETAF x Area	(B)
Total Area	(A)
Average ETAF	B ÷ A

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)
Total Area	(A+C)
Sitewide ETAF	(B+D) ÷ (A+C)

Appendix C – Sample Certificate of Completion.

CERTIFICATE OF COMPLETION

This certificate is filled out by the project applicant upon completion of the landscape project.

PART 1. PROJECT INFORMATION SHEET

Date		
Project Name		
Name of Project Applicant	Telephone No.	
	Fax No.	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Project Address and Location:

Street Address	Parcel, tract or lot number, if available.	
City	Latitude/Longitude (optional)	
State	Zip Code	

Property Owner or his/her designee:

Name	Telephone No.	
	Fax No.	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Property Owner

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Property Owner Signature

Date

Please answer the questions below:

1. Date the Landscape Documentation Package was submitted to the local agency _____
2. Date the Landscape Documentation Package was approved by the local agency _____
3. Date that a copy of the Water Efficient Landscape Worksheet (including the Water Budget Calculation) was submitted to the local water purveyor _____

PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

"I/we certify that based upon periodic site observations, the work has been completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Signature*	Date	
Name (print)	Telephone No.	
	Fax No.	
Title	Email Address	
License No. or Certification No.		
Company	Street Address	
City	State	Zip Code

*Signer of the landscape design plan, signer of the irrigation plan, or a licensed landscape contractor.

PART 3. IRRIGATION SCHEDULING

Attach parameters for setting the irrigation schedule on controller per ordinance Section 492.10.

PART 4. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

Attach schedule of Landscape and Irrigation Maintenance per ordinance Section 492.11.

PART 5. LANDSCAPE IRRIGATION AUDIT REPORT

Attach Landscape Irrigation Audit Report per ordinance Section 492.12.

PART 6. SOIL MANAGEMENT REPORT

Attach soil analysis report, if not previously submitted with the Landscape Documentation Package per ordinance Section 492.6.

Attach documentation verifying implementation of recommendations from soil analysis report per ordinance Section 492.6.

Appendix D – Prescriptive Compliance Option

(a) This appendix contains prescriptive requirements which may be used as a compliance option to the Model Water Efficient Landscape Ordinance.

(b) Compliance with the following items is mandatory and must be documented on a landscape plan in order to use the prescriptive compliance option:

1. Submit a Landscape Documentation Package which includes the following elements:
 - A. date
 - B. project applicant
 - C. project address (if available, parcel and/or lot number(s))
 - D. total landscape area (square feet), including a breakdown of turf and plant material (E) project type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
 - E. water supply type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
 - F. contact information for the project applicant and property owner
 - G. applicant signature and date with statement, “I agree to comply with the requirements of the prescriptive compliance option to the MWELO”.
2. Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of six inches into landscape area (unless contra-indicated by a soil test);
3. Plant material shall comply with all of the following;
 - A. For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water; For non-residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water;
 - B. A minimum three inch (3”) layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
4. Turf shall comply with all of the following:
 - A. Turf shall not exceed 25% of the landscape area in residential areas, and there shall be no turf in non-residential areas;
 - B. Turf shall not be planted on sloped areas which exceed a slope of 1 foot vertical elevation change for every 4 feet of horizontal length;
 - C. Turf is prohibited in parkways less than 10 feet wide, unless the parkway is adjacent to a parking strip and used to enter and exit vehicles. Any turf in parkways must be irrigated by sub- surface irrigation or by other technology that creates no overspray or runoff.
5. Irrigation systems shall comply with the following:
 - A. Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor.
 - B. Irrigation controllers shall be of a type which does not lose programming data in the event the primary power source is interrupted.
 - C. Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturers recommended pressure range.
 - D. Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.

- E. All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014. "Landscape Irrigation Sprinkler and Emitter Standard," All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
 - F. Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
6. For non-residential projects with landscape areas of 1,000 sq. ft. or more, a private submeter(s) to measure landscape water use shall be installed.

(c) At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.

**EXHIBIT A: NEIGHBORHOOD COMPATIBILITY REVIEW - DESIGN GUIDELINES
CHECKLIST
(801 University Avenue, Project No. 19-0006646)**

DWELLING SETBACKS *(Table A: Must meet all 3)*

1. Front Yard Setbacks

The project is consistent with the prevailing front yard setback of the block face. The average prevailing front setback of the lot is 26.5'. The front façade of the existing residence is 25'-0" from the front property line, which will be pushed back to meet the 26.5' average. The portions of the addition visible from the front are located beyond the required setback, at 27.3'.

2. Side Yard Setbacks

The street side addition to the existing residence has the appropriate setback to provide a consistent street wall on Kenneth Road. The existing residence is single-story, and the addition does not add any height to the residence. The property to the north has an existing privacy fence along the property line that will sufficiently buffer any views from the proposed addition into the neighboring property.

3. Rear Yard Setbacks

The required rear yard setback is 15'-0". There are no changes proposed to the garage at the rear of the lot. An Accessory Dwelling Unit on top of the garage is concurrently reviewed under a separate permit. There are no additional accessory units proposed in the scope of this project.

DWELLING ORIENTATION *(Table B: Must meet minimum 1 of 4)*

1. Dwelling Frontage Orientation

The existing entrance to the residence is located on the street facing façade of the residence. The project proposes to add a porch cover above the main entry and to extend the existing residence front elevation closer to the property line. The front porch addition should add some visual interest by incorporating an additional secondary shape where there is not one currently.

DWELLING ORIENTATION CONTINUED *(Table C: Must meet minimum 1 of 2)*

There are no proposed changes to the orientation or dimensions of the existing garage, which is detached and located towards in the rear of the property. Therefore, this section does not apply to this project.

ROOFLINES *(Table D: Must meet minimum 1 of 3)*

3. Skyline Interest

The existing residence is built in the Ranch style. The proposed additions are consistent with the existing architectural style and will not alter the skyline or significantly impact the character of the neighborhood. The pitch of the roof and overall bulk of the residence will not

be impacted significantly because the majority of the additional square footage will be added to the interior side and rear of the residence.

MAJOR AND MINOR MASSING & MODULATION *(Table E: Must meet minimum 2 of 4)*

1. Residential Modulation, Front Yards.

The proposed front yard is modulated by offsetting the setback of the new addition and the addition of a covered entry/porch. Similar components can be observed along the block length on the same side of the street, including the offset front elevations and covered entries.

4. Residential Modulation, Minor

The project includes minor massing components that serve to reduce the overall sense of mass and bulk. Two such elements are the proposed front covered entry/porch and the rear covered porch.

RESIDENTIAL DWELLING HEIGHT, UPPER STORIES & HEIGHT TRANSITIONS

(Table F: With one story only, must meet a minimum of 1 of 2).

1. One story in height dwellings and additions are encouraged on streets and in neighborhoods with a predominance of one-story houses. The proposed project expands the square footage of the existing residence, but retains the single-story design.

RESIDENTIAL DWELLING HEIGHT CONTINUED *(Table G: With two stories or more, must meet a minimum of 3 of 4 below).*

Table G is not applicable since the project does not include a second story.

RESIDENTIAL DWELLING HEIGHT CONTINUED *(Table H: With third story, must meet 1 item).*

Table H is not applicable since the project does not include a third story.

WINDOWS AND 360° ARCHITECTURE *(Table I: Must meet minimum 1 of 4)*

2. 360° Additions

The proposed addition is complimentary in character to the proportions, massing and details of the existing residence. The roof forms, materials, and window styles are consistent on all elevations.

3. 360° Alterations

The massing, proportions, and details of the proposed addition are utilizing in-kind proportions, massing, materials, and details to the existing residence. The additions update the architectural style of the residence, from Ranch to Contemporary Ranch style.

ACCESSORY STRUCTURES *(Table J: Must meet 1 item)*

Not applicable because the project scope does not include an accessory structure. Table J is skipped.

FENCES AND PROPERTY LINE WALLS *(Table K: If provided, must meet all 3)*

1. At Front Yards

There are no fences proposed within the front setback.

2. At Street-Facing Side Yards

There is an existing wall within the street side setback. There are no changes proposed to this wall. The existing wall is consistent with this design guideline because it is set back to allow for landscaping.

3. Retaining Walls, at Front Yards and Street-Facing Side Yards

The retaining wall within the front and side-yard will be retained. The retaining wall is not set back from the sidewalk; however, there is landscaping within the area above the retaining wall. No changes are proposed to the retaining wall.

LANDSCAPE *(Table L: Must meet minimum 2 of 4)*

1. Landscape Design

A landscape plan is not required for additions; however, the site plan indicates that the landscaped areas are to be retained.

2. Artificial Turf, Front Lawns

The project does not include artificial turf.

3. Hardscape, Front Yards

The hardscape in the front yard is limited to an existing paved driveway and footpath that both lead up to the residence. Hardscape constitutes an area necessary for access to the residence, which is less than the majority of available landscaped area. The hardscape on the street side is limited to a footpath to the side entrance and a driveway to the garage.

4. Trees

There are several trees within the street side setback landscaping area. Some of these trees may be removed during construction. The applicant will provide at least two new trees within the front and street side setback.

LANDSCAPE CONTINUED *(Table M: Must meet minimum 3 of 7)*

1. Landscape along Street Frontages

The project maintains continuity and openness along the block face at the front yard. New trees will be planted to provide consistency with the vegetation on neighboring properties along the blockface.

4. Side Yard Landscape

The interior property line is currently screened by dense hedges. These hedges are proposed to remain.

5. Rear Yard Landscape

The rear property line is currently screened by dense hedges. These hedges are proposed to remain.

USE OF CHARACTERISTIC OR OTHER ARCHITECTURAL STYLES

(Table N: Meet 1 of 2)

1. Use of Other Traditional Styles

The existing residence is an example of the Ranch architectural style. Residences with similar architectural characteristics are found on both University Avenue and Kenneth Road. The Ranch style incorporates longer, ground-hugging designs with gently pitched roofs. Mostly one story tall, these structures use brick, wood, stone, and stucco to characterize their otherwise simply detailed asymmetrical facades. However, with the proposed additions and remodel, the residence will have a consistent architectural style of its own. The proposed additions and alterations to the façade eliminate the use of brick and shutters, and will update the overall design of the residence to the Contemporary Ranch style. The use of stucco and glass will ensure that the residence retains a consistent 360-degree design.