

California FISH GRILL

CALIFORNIA FISH GRILL
RESTAURANT TENANT IMPROVEMENT
THE RANCH - BUILDING 'C'
551 NORTH HOLLYWOOD WAY
BURBANK, CA 93277

BUILDING DATA

SCOPE OF WORK		BUILDING CODES	
TENANT IMPROVEMENT AND REMODEL FOR PROPOSED RESTAURANT WITH EXISTING DINING PATIO AND KITCHEN WITH NO CHANGE OF OCCUPANCY INCLUDING NEW ELECTRICAL, PLUMBING AND MECHANICAL AS WELL AS ROOF FRAMING STRUCTURAL MODIFICATIONS - NO NEW BUILDING AREA IS TO BE ADDED - ALL PARKING AND SIDEWALKS TO EXISTING AND ARE TO REMAIN INTACT - EXISTING ACCESS TO SITE FROM PUBLIC WAY AND ACCESSIBLE PARKING IS TO REMAIN		BUILDING CODE:	2016 CALIFORNIA BUILDING CODE
TENANT SPACE ANALYSIS		PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
TYPE OF CONSTRUCTION:	TYPE V-B NON-SPRINKLERED	ELECTRICAL CODE:	2016 CALIFORNIA ELECTRICAL CODE
FIRE SPRINKLERS:	NO	HANDICAP CODE:	2016 CALIFORNIA BUILDING CODE
OCCUPANCY GROUP:	A2 - RESTAURANT - PROPOSED	ENERGY CODE:	2016 CALIFORNIA ENERGY CODE
STORES OF RESTAURANT:	ONE	FIRE CODE:	2016 CALIFORNIA FIRE CODE/NFPA
DEFERRED SUBMITTALS		SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO ARCHITECT WHO SHALL REVIEW THEM AND RETURN THEM TO CONTRACTOR WITH A NOTATION INDICATING THAT DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING - CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING REVERSED SUBMITTAL DRAWINGS AND CALCULATIONS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL - DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY BUILDING DEPARTMENT - DEFERRED SUBMITTALS ARE AS FOLLOWS:	
SHELL BUILDING		MODIFICATION TO EXISTING FIRE ALARM SYSTEM - IF REQUIRED: ANY NEW OR RELOCATED ALARM DEVICES ADDED TO THE EXISTING BUILDING SHELL FIRE ALARM SYSTEM PANEL, WILL BE SUBMITTED SEPARATELY BY FIRE ALARM SUB-CRONTACTOR FOR REVIEW AND APPROVAL BY LOCAL FIRE AUTHORITY AS A DEFERRED SUBMITTAL	
ADDRESS:	551 NORTH HOLLYWOOD WAY - BLDG 'C' BURBANK, CA	MODIFICATION TO EXISTING FIRE SPRINKLER SYSTEM	
OCCUPANCY GROUPS:	A-2 RESTAURANT A-2 OUTDOOR DINING AREA	ANSUL FIRE SUPPRESSANT SYSTEM AT HOODS	
TYPE OF CONSTRUCTION:	TYPE V-B NON-SPRINKLERED	EXTERIOR SIGNAGE	
OCCUPANCY SEPARATIONS:	NON-SEPARATED	FIRE PROTECTION	
NUMBER OF STORES:	ONE - EXISTING	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS - HOURS - BASED ON CONSTRUCTION TYPE V-B SPRINKLER PER TABLE 601 OF THE CALIFORNIA BUILDING CODE	
ALLOWABLE BUILDING HEIGHT:	50'-0"	FLOOR AND SECONDARY MEMBERS: 0 HOURS - EXISTING	
ACTUAL BUILDING HEIGHT:	24'-0"	EXTERIOR BEARING WALLS: 0 HOURS - EXISTING	
BUILDING AREA (GROSS):	2480 SF	INTERIOR BEARING WALLS: 0 HOURS - EXISTING	
HISTORIC ZONE:	NO	PRIMARY STRUCTURAL FRAME: 0 HOURS - EXISTING	
OVERLAY ZONE:	NO	ROOF AND SECONDARY MEMBERS: 0 HOURS - EXISTING	
FIRE SPRINKLERS:	NON SPRINKLERED	SHAFTS: NONE ANTICIPATED	
PARKING SUMMARY:	EXISTING PARKING TO REMAIN - NO CHANGE IN NUMBER OF STALLS	TENANT SEPARATIONS: NON-RATED	
		EXISTING = EXISTING TO REMAIN - PROTECT IN PLACE - PATCH AS REQUIRED TO MAINTAIN FIRE RATING - REFER TO DRAWINGS FOR FIRE-RATED PENETRATIONS AND FIRESTOP SYSTEMS	

EXIT SEPARATION SUMMARY

EXIT SEPARATION REQUIREMENTS BASED UPON BUILDING EQUIPPED WITH FIRE SPRINKLERS	
CATEGORY A-2 ASSEMBLY OCCUPANCY - RESTAURANTS	
NUMBER OF EXITS FOR TENANT SPACE REQUIRED	2
• NUMBER OF EXIT DOORS FOR TENANT SPACE PROVIDED	4
• NUMBER OF EXIT STAIRS FOR TENANT SPACE PROVIDED	N/A
LONGEST DIAGONAL OF OCCUPIED TENANT SPACE	70'-0"
• 1/2 LENGTH OF LONGEST DIAGONAL OF OCCUPIED SPACE	23'-0"
EXIT SEPARATION REQUIRED - FIRE SPRINKLERS	23'-0"
• EXIT SEPARATION PROVIDED: EXIT NO.1 TO EXIT TO NOLA	61'-0"

TACTILE EXIT SIGNAGE

TACTILE EXIT SIGN - SYMBOLS AS FOLLOWS:	
EX	EXIT
ER	EXIT ROUTE
ES	EXIT STAIR / RAMP AS APPLICABLE

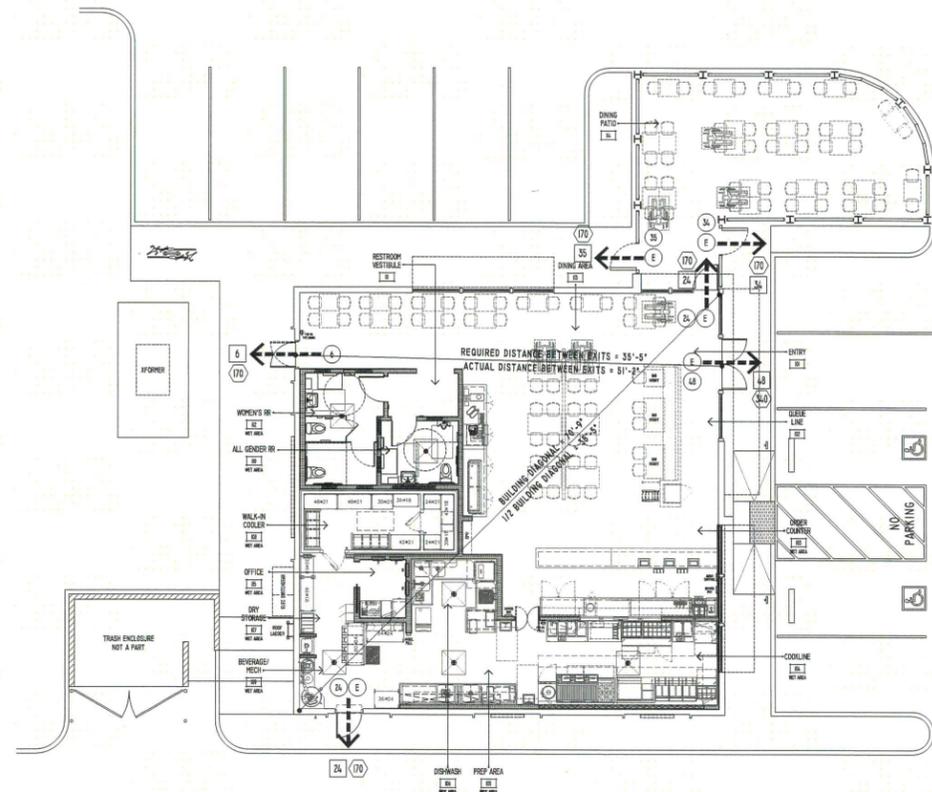
• REFER TO DETAIL 5/A9.2 FOR SIGNAGE DESIGN AND MOUNTING REQUIREMENTS
• REFER TO DETAIL 5/A9.2 FOR ACCESSIBLE SIGNAGE MOUNTING / CLEARANCE REQUIREMENTS
• REFER TO DETAIL 10/A9.2 FOR TACTILE EGRESS SIGNAGE MOUNTING REQUIREMENTS

EXIT FEATURE OR REQUIREMENT	COMPONENT PROVIDED
FIRE SPRINKLERS	NO
FIRE ALARM	NO
ILLUMINATED EXIT SIGNS	YES
SMOKE DETECTORS	IN DUCTS
PANIC HARDWARE	YES
FIRE EXTINGUISHERS	YES
EMERGENCY LIGHTING	YES



EXITING ANALYSIS AND OCCUPANCY PLAN

SCALE: 1/8" = 1'-0"



FIRE NOTES

NO FIRE SPRINKLER OR FIRE ALARM SYSTEM APURTENANCES (PIPING, VALVES, WIRING, ETC.) SHALL BE CONCEALED WITHIN ANY PERMANENT CONSTRUCTION WITHOUT THE APPROVAL OF BOTH THE BUILDING AND FIRE INSPECTORS

ALL BUILDINGS ARE REQUIRED TO BE PROVIDED WITH AN ADDRESS THAT IS CLEARLY VISIBLE FROM ANY STREET OR ROADWAY - THE NUMERALS SHALL BE A MINIMUM OF 4 INCHES IN HEIGHT AND 1 INCH STROKE - THE NUMERALS SHALL BE OF CONTRASTING COLOR TO THEIR BACKGROUND, AND WHITE IN COLOR IF LOCATED ON GLAZING

ADDITIONAL EXIT SIGNS, EGRESS ILLUMINATION AND PORTABLE FIRE EXTINGUISHERS MAY BE REQUIRED AS DETERMINED BY THE FIRE INSPECTOR

SHOW THE LOCATION OF THE EMERGENCY KEY BOX (NOX BOX) LOCATED AT THE FRONT ENTRANCE TO THE BUILDING

A SEPARATE SUBMITTAL AND PERMIT IS REQUIRED FOR ANY INSTALLATION OR ALTERATIONS TO THE FIRE SPRINKLER, FIRE ALARM, FIRE SERVICE UNDERGROUND SYSTEM, INCLUDING ANY TYPE I HOOD AND SILENT EXTINGUISHING SYSTEMS - APPLICATION SHALL BE MADE BY EITHER A REGISTERED ENGINEER OR BY A LICENSED FIRE SPRINKLER CONTRACTOR WHO WILL BE PERFORMING THE WORK - THE PERMIT AND APPROVED PLANS SHALL BE ON THE JOBSITE AT ANY TIME THE WORK ON SAID SYSTEM IS OCCURRING

EGRESS SYMBOLS

	TOTAL CALCULATED OCCUPANT LOAD OF ROOM OR SPACE		INDICATES OCCUPANT LOAD SIGN - NUMBER INDICATES OCCUPANTS TO BE LISTED ON SIGN
	EXIT OCCUPANT LOAD DIRECTED TOWARDS MEANS OF EGRESS		INDICATES MAXIMUM TRAVEL DISTANCE FROM REMOTE POINT TO EXIT DOOR
	PATH OF EGRESS		TOTAL OCCUPANT LOAD AT EXIT DOOR
	OCCUPANCY GROUP OF SPACE OR ROOM		ALLOWABLE OCCUPANT LOAD BASED ON EXIT DOOR WIDTH
	ILLUMINATED EXIT SIGN - SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL AND CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL		PROPOSED FIRE EXTINGUISHER LOCATION
			EGRESS DOORS FOR DISABLED

EGRESS WIDTH ANALYSIS

TOTAL EGRESS DOOR WIDTH ANALYSIS		SECONDARY EGRESS DOORS WIDTH ANALYSIS	
REQUIRED EXIT DOOR WIDTH BASED UPON TOTAL OCCUPANTS:	96 PERSONS X 0.2 INCHES PER PERSON = 19.2 INCHES	REQUIRED EXIT DOOR WIDTH BASED UPON 1/2 TOTAL OCCUPANTS:	48 PERSONS X 0.2 INCHES PER PERSON = 9.6 INCHES
PROVIDED EXIT DOOR WIDTH:	1 PAIR DOORS AT 34" (TWO 34" DOORS) = 68.0 INCHES 3 DOORS AT 34" (ONE SINGLE 34" DOOR) = 102.0 INCHES	PROVIDED EXIT DOOR WIDTH:	3 DOORS AT 34" (TWO SINGLE 34" DOORS) = 102.0 INCHES
TOTAL EXIT DOOR WIDTH PROVIDED	170.0 INCHES	TOTAL EXIT DOOR WIDTH PROVIDED	102.0 INCHES
	19.2 INCHES < 170.0 INCHES		9.6 INCHES < 102.0 INCHES
	OK		OK
MAIN EGRESS DOOR WIDTH ANALYSIS			
REQUIRED EXIT DOOR WIDTH BASED UPON 1/2 TOTAL OCCUPANTS:	48 PERSONS X 0.2 INCHES PER PERSON = 9.6 INCHES		
PROVIDED EXIT DOOR WIDTH:	1 PAIR DOORS AT 34" (TWO 34" DOORS) = 68.0 INCHES		
TOTAL EXIT DOOR WIDTH PROVIDED	68.0 INCHES		
	9.6 INCHES < 68.0 INCHES		
	OK		

PROJECT DIRECTORY

LANDLORD BALBOA RETAIL PARTNERS, LLC 1101 SAN VICENTE BLVD., SUITE 900 LOS ANGELES, CA 90049 PH: 310.496.4145 CONTACT: LEXI MORRARTY lexi@balboaretail.com	OWNER - TENANT CALIFORNIA FISH GRILL, LLC 17310 RED HILL AVENUE, SUITE 300 IRVINE, CA 92614 PH: 714.525.5809 CONTACT: PARI HOLLIDAY pari.holliday@calfishgrill.com	ARCHITECT TANAKA RILEY ARCHITECTS 22855-E SAVI RANCH PKWY YORBA LINDA, CA 92887 PH: 714.283.1905 CONTACT: MICHAEL RILEY mrm@tanakariley.com
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SEATING TABULATION

2 TOP SETTEE	2 SEATS PER TABLE	X	11 TABLES	= 22 SEATS
4 TOP SETTEE	4 SEATS PER TABLE	X	9 TABLES	= 36 SEATS
TOTAL INTERIOR RESTAURANT SEATING = 58 SEATS				
ACCESSIBLE SEATING: 58 SEATS X 5% = 3 SEATS				
ACCESSIBLE SEATING - PROVIDED = 3 SEATS				
2 TOP TABLE	2 SEATS PER TABLE	X	22 TABLES	= 44 SEATS
TOTAL EXTERIOR PATIO DINING SEATING = 44 SEATS				
ACCESSIBLE SEATING: 44 SEATS X 5% = 3 SEATS				
ACCESSIBLE SEATING - PROVIDED = 3 SEATS				

OCCUPANCY - EXITING

ROOM OR ACTIVITY	AREA	LOAD FACTOR	OCC LOAD
QUELIE	200 SF	+ 7 SF / PERSON	29 PERSONS
DINING	91 SF	+ 15 SF / PERSON	61 PERSONS
KITCHEN	1089 SF	+ 200 SF / PERSON	6 PERSONS
RESTROOMS	280 SF	+ ACCESSORY	0 PERSONS
TOTAL INTERIOR:	2480 SF		96 PERSONS
PATIO	665 SF	+ 15 SF / PERSON	45 PERSONS
TOTAL EXTERIOR:	665 SF		45 PERSONS
PROJECT TOTAL:	3145 SF		141 PERSONS

OCCUPANCY - PLUMBING

RESTROOM OCCUPANCY CALCULATION		PLUMBING FIXTURE COUNTS	
ROOM OR ACTIVITY	AREA	LOAD FACTOR	OCC LOAD
QUELIE	200 SF	+ 30 SF / PERSON	7 PERSONS
DINING	91 SF	+ 30 SF / PERSON	3 PERSONS
KITCHEN	1089 SF	+ 200 SF / PERSON	6 PERSONS
RESTROOMS	280 SF	+ ACCESSORY	0 PERSONS
TOTAL INTERIOR:	2480 SF		43 PERSONS
PATIO	665 SF	+ 30 SF / PERSON	23 PERSONS
TOTAL EXTERIOR:	665 SF		23 PERSONS
PROJECT TOTAL:	3145 SF		66 PERSONS
RESTROOM FIXTURE PARTY: THE TOTAL NUMBER OF FIXTURES PROVIDED FOR WOMEN SHALL MEET OR EXCEED THOSE REQUIRED FOR MEN			
MINIMUM PLUMBING FIXTURE CALCULATIONS ARE BASED UPON THE FOLLOWING CODE SECTIONS: CBC TABLE 422.1 CATEGORY A-2 ASSEMBLY OCCUPANCY - RESTAURANTS			
OCCUPANCY = 66 PERSONS (33 MEN / 33 WOMEN)		REQUIRED	PROVIDED
MEN'S RESTROOM			
WATER CLOSETS	1	1	
URINALS	1	1	
LAVATORIES	1	1	
WOMEN'S RESTROOM			
WATER CLOSETS	2	2	
LAVATORIES	1	1	

FIRE SPRINKLER / ALARM

TENANT SPACE IS CURRENTLY PROVIDED WITH AN EXISTING AUTOMATIC WET PIPE SPRINKLER SYSTEM - CONTRACTOR IS RESPONSIBLE FOR MODIFICATION OF EXISTING SYSTEM AND SHALL PROVIDE A NEW LAYOUT IN ACCORDANCE WITH NEW WALLS, LIGHTING AND HVAC SYSTEMS

CONTRACTOR SHALL PROVIDE ALL MATERIALS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM FOR PROPOSED FINISH OF SPACE - CONTRACTOR SHALL PREPARE ALL NEEDED DRAWINGS AND HAVE ALL APPROVAL OF ALL APPLICABLE STATE, LOCAL AND INSURANCE UNDERWRITING AUTHORITIES IN ADDITION TO REQUIREMENTS OF NFPA 13 - COMPLETE AND FULLY OPERATIONAL FIRE SPRINKLER SYSTEM IS TO BE INCLUDED IN CONTRACTOR'S BID

FIRE SPRINKLER DESIGN AND MODIFICATIONS IS A DEFERRED SUBMITTAL - ANY MODIFICATION OF EXISTING FIRE LIFE SAFETY AND FIRE SPRINKLER SYSTEMS WITHIN PREMISES IS TO BE PRE-APPROVED BY LANDLORD AND IN COMPLIANCE WITH ALL BUILDING MANAGEMENT SYSTEMS

ALL SPRINKLER SYSTEMS ARE REQUIRED TO HAVE A DATA NAME PLATE POSTED AND MAINTAINED AT EACH RISER. SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA AND CITY ORDINANCE CRITERIA

EXISTING SPRINKLER HEADS - IF REQUIRED - SHALL BE RELOCATED BY THE CONTRACTOR IN COORDINATION WITH THE CONSTRUCTION DOCUMENTS

WHERE APPLICABLE - CONTRACTOR TO COORDINATE FIRE ALARM SYSTEM MODIFICATION WITH LANDLORD'S FIRE ALARM VENDOR - ALL FIRE ALARM MODIFICATION AND INSTALLATION WORK SHALL BE UNDER SEPARATE PERMIT

INSTALLATION OF MANUAL OR AUTOMATIC FIRE ALARM SYSTEM SHALL BE DETERMINED BY LOCAL MUNICIPALITY IN ACCORDANCE WITH LOCAL FIRE CODE - CONTRACTOR SHALL BE RESPONSIBLE FOR PLANS, PERMITS, AND ALL WORK REQUIRED FOR INSTALLATION OF FIRE ALARM SYSTEM

DRAWING INDEX

DWG	DRAWING TITLE
TL1	TITLE SHEET / DRAWING INDEX / PROJECT DATA / EXITING ANALYSIS PLAN
TL2	PROJECT GENERAL NOTES / SYMBOLS LEGEND / NOTES AND ABBREVIATIONS
TL3	PROJECT RESPONSIBILITY MATRIX / VENDOR CONTACT LIST
TL4	PROJECT RESPONSIBILITY MATRIX / VENDOR CONTACT LIST
GB1	CALIFORNIA GREEN BUILDING STANDARDS - DWG 1 OF 3 MANDATORY MEASURES
GB2	CALIFORNIA GREEN BUILDING STANDARDS - DWG 2 OF 3 MANDATORY MEASURES
GB3	CALIFORNIA GREEN BUILDING STANDARDS - DWG 3 OF 3 MANDATORY MEASURES
AL1	OVERALL REFERENCE SITE PLAN
AL2	SITE NOTES AND DETAILS, SITE DISABLED ACCESS
AD1	DIMENSIONED FLOOR PLAN / GENERAL NOTES / WALL LEGEND
AD2	NOTED FLOOR AND EGRESS PLAN
AD3	FLOOR FINISH PLAN
AS1	ROOF AND MECHANICAL EQUIPMENT PLAN / ROOF KEY NOTES
AS2	DETAILS - FLASHING AND ROOF ACCESSORIES
AS3	PROPOSED EXTERIOR ELEVATIONS
AS4	REFLECTED CEILING PLAN
AS5	DIMENSIONED LIGHTING PLAN AND NOTES
AL1	PUBLIC RESTROOM PLAN
AT1	FINISH NOTES / MATERIAL AND FINISH SCHEDULE / ROOF FINISH SCHEDULE
AT2	DOOR NOTES / DOOR TYPES / DOOR SCHEDULE
AB1	GENERAL FRAMING NOTES / LIGHT GAUGE METAL FRAMING DETAILS
AB2	GENERAL FRAMING NOTES / LIGHT GAUGE METAL FRAMING DETAILS
AB3	SUSPENDED CEILING DETAILS AND CLG NOTES / GENERAL CEILING DETAILS
AB4	DETAILS - CEILING AND WALL / PARTITION TYPES
AB5	DETAILS - WALL AND FLOOR
AB6	NOT USED
AB7	DETAILS - HOOD AND GREASE DUCT FIRE WRAP / DUCT FIRE WRAP SPECS
AR1	DISABLED ACCESS DETAILS AND DIAGRAMS / DISABLED ACCESS NOTES
AR2	DISABLED ACCESS DETAILS AND DIAGRAMS / DISABLED ACCESS NOTES
AR3	DISABLED ACCESS DETAILS AND DIAGRAMS / DISABLED ACCESS NOTES
SP1	PROJECT SHORT-FORM SPECIFICATIONS
SP2	PROJECT SHORT-FORM SPECIFICATIONS
SP3	PROJECT SHORT-FORM SPECIFICATIONS
SP4	PROJECT SHORT-FORM SPECIFICATIONS
SP5	PROJECT SHORT-FORM SPECIFICATIONS

INTERIOR DESIGN	DESCRIPTION
I-7.0	REFLECTED CEILING PLAN / LIGHTING FIXTURE LEGEND
I-9.0	FINISH PLAN / FINISH SCHEDULE
I-1.1	FINISH LEGEND
I-1.0	MILLWORK DETAILS
I-1.1	MILLWORK DETAILS
I-2.0	INTERIOR ELEVATIONS

STRUCTURAL	DESCRIPTION
S1	GENERAL NOTES AND DETAILS
S2	ROOF FRAMING PLAN
S3	DETAILS

MECHANICAL	DESCRIPTION
M0.1	MECHANICAL SPECIFICATIONS
M0.2	MECHANICAL SCHEDULES
M0.3	MECHANICAL DETAILS
M1	MECHANICAL FLOOR PLAN
M1	MECHANICAL ROOF PLAN
H1	HOOD DRAWINGS
H2	HOOD DRAWINGS
H3	HOOD DRAWINGS
H4	FIRE BARRIER DUCT WRAP DETAILS

PLUMBING	DESCRIPTION
P0.1	PLUMBING SPECIFICATIONS AND LEGEND
P0.2	PLUMBING SCHEDULES
P0.3	PLUMBING SCHEDULES
P0.4	PLUMBING DETAILS
PL	PLUMBING PLAN - WASTE AND VENT
PL	PLUMBING PLAN - GAS AND WATER
PL3	PLUMBING ROOF PLAN
PL4	PLUMBING ISOMETRIC DIAGRAMS

ELECTRICAL	DESCRIPTION
EO.1	ELECTRICAL NOTES AND SPECIFICATIONS
EO.2	LIGHTING SCHEDULE
EO.3	ELECTRICAL SCHEDULE
EO.4	ELECTRICAL DIAGRAM AND LEGEND
EO.5	ELECTRICAL PANEL SCHEDULES
EO.6	LIGHTING TITLE 24
EO.7	LIGHTING TITLE 24
E1	ELECTRICAL LIGHTING PLAN
E2	ELECTRICAL POWER PLAN
E3	ELECTRICAL ROOF PLAN

FOOD SERVICE	DESCRIPTION
FS-0	COVER SHEET / NOTES
FS-1	FLOOR PLAN
FS-1.1	EQUIPMENT SCHEDULE
FS-2	ELECTRICAL PLAN
FS-3	PLUMBING PLAN
FS-3.1	UNDERGROUND PLAN
FS-3.2	PLUMBING DETAILS
FS-4	BACKING / SPECIAL CONDITIONS PLAN
FS-4.1	CRITICAL DIMENSIONS
FS-5	ELEVATIONS
FS-5.1	ELEVATIONS
FS-6	WALK-IN DRAWINGS

tanaka + riley
architects

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RICHARD W. TANAKA ARCHITECT
MICHAEL N. RILEY ARCHITECT

SCALES AS SHOWN ARE VALID ONLY ON ORIGINAL DRAWING - THE DIMENSIONS OF WHICH ARE 36 INCHES X 42 INCHES

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California FISH GRILL
RESTAURANT TENANT IMPROVEMENT
THE RANCH - BUILDING 'C'
SW CORNER OF VERDUGO AVENUE AND HOLLYWOOD WAY
551 NORTH HOLLYWOOD WAY
BURBANK, CA 91505

SUBMITTAL DATES:
DESCRIPTION DATE
AGENCY REVIEW / LL SUBMITTAL 12.02.19

REVISION DATES:
NO. DESCRIPTION DATE

PROFESSIONAL SEAL:



PROJECT NUMBER:
TRA JOB NO. 18076

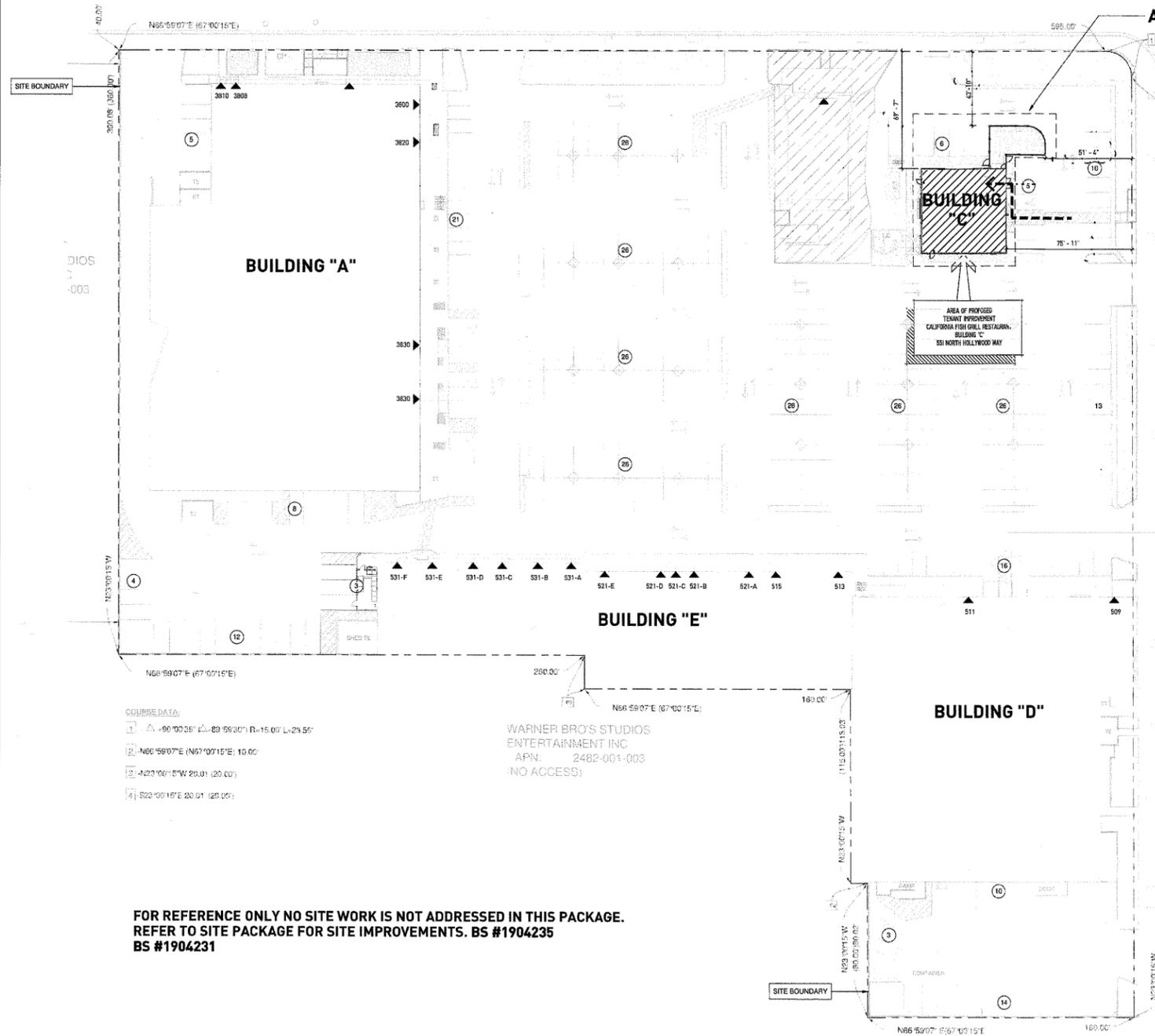
TITLE:
TITLE SHEET- DWG INDEX
PROJECT DATA

EXITING ANALYSIS PLAN
SHEET NUMBER:

TI.1

W. VERDUGO AVE.
(A 80' PUBLIC RIGHT OF WAY)

Area Of Work



ASSESSOR PARCEL NUMBER
A.P.N. 2482-001-271 AND 272

BUILDING ADDRESS
BUILDING A: 3800-3800 WEST VERDUGO AVENUE
BUILDING B: 2714 WEST VERDUGO AVENUE
BUILDING C: 561 NORTH HOLLYWOOD WAY
BUILDING D: 509-511 NORTH HOLLYWOOD WAY
BUILDING E: 513-519 NORTH HOLLYWOOD WAY

LAND AREA
LOT AREA = 258,564 SF OR 5.9 ACRES

TENANT	SUITE	GLA * AREA (SF)	GROSS ** AREA (SF)
BUILDING A			
BLAZE PIZZA	3800	2,000	36,708
MENCHE'S	3808	1,000	
VICTOR'S SHOE REPAIR	3810	545	
C&C PET FOOD FOR LESS	3820	5,414	
SMART & FINAL	3830	27,281	
BUILDING B			
DEL TACO	3714	2,140	2,240
BUILDING C			
CALIFORNIA FISH GRILL	551	2,550	2,474
BUILDING D			
POPEYE'S	509	1,200	26,837
CVS PHARMACY	511	25,500	
BUILDING E			
WESTERN BAKERY	513	2,450	18,307
NEKTER	515	1,080	
HUMMUS & PITA	521-A	2,100	
KURU KURU BUSHI	521-B	1,250	
NAL DESIGN CENTER	521-C	1,050	
WON TO GO	521-D	1,050	
PREMIER AMERICA CU	521-E	2,240	
PLATES PLUS	531-A	1,100	
JERREY'S MEXICAN	531-B	1,100	
SUPER CUTS	531-C	1,155	
CITYWIDE LINDBERGS	531-D	825	
AMAZING LASH	531-E	1,540	
KURAMON	531-F	1,100	
TOTAL GROSS LEASABLE AREA:		85,930 SF	86,788 SF

* - PER PROPERTY MANAGEMENT INFORMATION
** - PER MARDUKUBO FIELD VERIFICATION 10/15/2015 ALTA SURVEY

FLOOR AREA RATIO
LOT AREA: 258,564 SF
GROSS FLOOR AREA: 86,788 SF
FLOOR AREA RATIO: 0.334

LOT COVERAGE
LANDSCAPING AREA: 15,141 SF
LOT COVERAGE: 243,423 SF
LOT COVERAGE %: 94.1 %

PARKING CALCULATIONS

	EXISTING	PROJECTED
PARKING SPACES	302	300
HANDICAP SPACES	8	8
TOTAL	310	311
PARKING RATIO:	3.12 PER 1000 SF RENTABLE AREA	

COURSE DATA:
1) Δ 490'00"36" (L=80'56"20") R=15'00" L=24'56"
2) N66°59'07"E (N67°00'15"E) 10.00'
3) 4x23'06"1"5"W 20.01' (20.00')
4) S22°39'15"E 20.01' (20.00')

WARNER BROS STUDIOS
ENTERTAINMENT INC
A.P.N. 2482-001-003
(NO ACCESS)

**FOR REFERENCE ONLY NO SITE WORK IS NOT ADDRESSED IN THIS PACKAGE.
REFER TO SITE PACKAGE FOR SITE IMPROVEMENTS. BS #1904235
BS #1904231**

**SITE PLAN -
FOR REFERENCE PURPOSES ONLY**

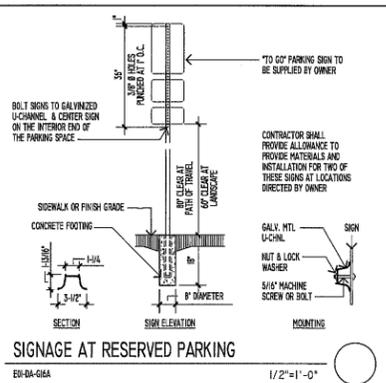
NO SITE WORK WILL BE PROPOSED FOR THIS PROJECT - EXISTING SITE CONDITIONS WILL REMAIN

THE FOOT PRINT OF THE BUILDING REMAINS THE SAME - NO BUILDING AREA IS TO BE ADDED

CONTRACTOR TO VERIFY ALL EXISTING FINISH GRADES, SLOPES, LINES AND UTILITIES AS WELL AS ANY OTHER PHYSICAL OBSTRUCTIONS - ALL EXISTING SITE ITEMS TO REMAIN, INCLUDING PARKING, SIGNAGE, PATH OF TRAVEL, ENTRANCES, ETC., ARE ADA COMPLIANT - SUBJECT TO FIELD VERIFICATION

PATH OF TRAVEL AS INDICATED ON EXISTING SITE PLAN IS AN EXISTING BARRIER FREE ACCESS WITHOUT ANY VERTICAL CHANGES EXCEEDING 1/2" AT 120' MAXIMUM SLOPE - VERIFY THAT ALL GRADES AND CLEARANCES ON SITE COMPLY WITH REQUIREMENTS FOR PERSONS WITH DISABILITIES

CONTRACTOR TO VERIFY ALL INFORMATION CONTAINED ON THIS DRAWING - CONTACT ARCHITECT IF ANY DISCREPANCIES EXIST



OVERALL REFERENCE SITE PLAN
SCALE: NONE

GENERAL NOTES

REFER TO DRAWING A1.2 FOR ADDITIONAL SITE PLAN GENERAL NOTES AND ACCESSIBILITY GUIDELINES AND DETAILS - ALL SITE IMPROVEMENTS ARE EXISTING TO REMAIN - PROTECT IN PLACE - OVERALL SITE ACCESSIBILITY WAS APPROVED AS PART OF THE OVERALL DEVELOPMENT APPROVAL UNDER A SEPARATE PERMIT - CONFIRM THAT EXISTING CONDITIONS COMPLY WITH THE GUIDELINES AND DETAILS REFERENCED

SITE PLAN NOTES

THESE DRAWINGS WERE FURNISHED BY THE LANDLORD FOR USE BY THE TENANT IN PREPARING IMPROVEMENT PLAN

ALL CONCRETE WALKS ARE EXISTING - NO ADDITIONAL FLATWORK WILL BE DONE AS A PART OF THIS PROJECT - CONTRACTOR TO VERIFY ALL ACTUAL UTILITY CONNECTIONS

NO ADDITIONAL SITE LIGHTING OR SITE POWER WORK WILL BE DONE AS A PART OF THIS PROJECT - NO ADDITIONAL LANDSCAPE WORK WILL BE DONE AS A PART OF THIS PROJECT - NO RETAINING WALLS, OR TRASH ENCLOSURES WILL BE ADDED AS A PART OF THIS PROJECT

NO WORK SHALL BE DONE IN THE PUBLIC RIGHT OF WAY AS A PART OF THIS PROJECT

DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, FACE OF CONCRETE CURB, PROPERTY LINE, OR CENTER OF PARKING STALL STRIPING - UNLESS NOTED OTHERWISE

PROVIDE SIGNS DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY AT EVERY PRIMARY AND PUBLIC ENTRANCE AND EVERY MAJOR JUNCTION ALONG OR LEADING TO ACCESSIBLE ROUTE OF TRAVEL - SIGNS SHALL INDICATE DIRECTION TO ACCESSIBLE ENTRANCES AND COMPLY WITH LATEST ADOPTED CODES

ADJUST ANY UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE - CATCH BASINS, CLEAN-OUT MANHOLES, INLETS, YARD BOXES, ETC. - AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER NOTED ON DRAWINGS OR NOT

ALL SIDEWALKS ADJACENT TO PARKING STALLS TO BE MINIMUM 7 FEET WIDESIDEWALKS ALONG ACCESSIBLE ROUTES SHALL HAVE MAXIMUM SLOPE OF 1:20 - 5 PERCENT AND A MAXIMUM CROSS SLOPE OF 1:48 - 2 PERCENT - SIDEWALKS ALONG ACCESSIBLE ROUTES SHALL HAVE A MINIMUM CLEAR WIDTH OF 60 INCHES

GRATINGS LOCATED ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE SPACES SHALL HAVE OPENINGS NO GREATER THAN 1/2 INCH WIDE IN ONE DIRECTION - GRATINGS WITH ELONGATED OPENINGS SHALL BE PLACED SO THAT LONG DIMENSION IS PERPENDICULAR TO DOMINANT DIRECTION OF TRAVEL

ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48 - 2 PERCENT - IN ANY DIRECTION-REFER TO DRAWING A1.3 FOR SITE ACCESSIBILITY REQUIREMENTS

CONCRETE WALKS SHALL RECEIVE EXPANSION JOINTS AT 20' MAXIMUM AND SAWCUT OR TOOLED CONTROL JOINTS AT 5'-0" BETWEEN EXPANSION JOINTS

PROTECT EXISTING TREES AND VEGETATION INDICATED TO REMAIN FROM PHYSICAL DAMAGE- DO NOT STORE MATERIAL OR EQUIPMENT WITHIN TREE DROPLINES

ELEVATIONS SHOWN ARE FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS OR AS-BUILT CONDITIONS FOR FINAL GRADES AND ELEVATIONS

BUILDING NUMBERS SHALL BE EASILY VISIBLE AND LEGIBLE FROM STREET OR ROAD FRONTING PROPERTY

ALL CONCRETE WALKS SHALL SLOPE TO DRAIN AWAY FROM DOORS AND STOREFRONTS AT 1 % MINIMUM TO 2% MAXIMUM SLOPE

FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO STARTING WORK - VERIFY THE LEASE LINE WITH THE TENANT COORDINATOR PRIOR TO START OF CONSTRUCTION

BUILDING DATA

TENANT SPACE ANALYSIS

CONSTRUCTION TYPE - SHELL AND TENANT IMPROVEMENT: TYPE V-B NON-COMBUSTIBLE

FIRE SPRINKLERS - SHELL AND TENANT IMPROVEMENT: YES

OCCUPANCY GROUP - SHELL AND TENANT IMPROVEMENT: A2 - RESTAURANT - PROPOSED

STORES OF RESTAURANT - SHELL AND TENANT IMPROVEMENT: ONE

SCOPE OF WORK

TENANT IMPROVEMENT AND REMODEL FOR PROPOSED RESTAURANT WITH EXTERIOR PATIO AND KITCHEN, NEW ELECTRICAL, PLUMBING AND MECHANICAL - NO NEW BUILDING AREA IS TO BE ADDED - ALL PARKING AND SIDEWALKS ARE EXISTING - DISABLED ACCESS TO SITE AND ACCESSIBLE PARKING IS EXISTING TO REMAIN

PATH OF TRAVEL

A COMMON BARRIER FREE ACCESSIBLE ROUTE FROM THE PUBLIC SIDEWALK AND FROM THE NEAREST DISABLED PARKING SPACES THROUGH THE PRIMARY ENTRANCE OF THE BUILDING AT LEAST 48" WIDE WITHOUT ANY ABRUPT VERTICAL CHANGES - VERTICAL CHANGES EXCEEDING 1/2" TO BE BEVELED AT 1:2 MAXIMUM SLOPE EXCEPT WHERE LEVEL CHANGES DO NOT EXCEED 1/2" VERTICAL

THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH

PASSING SPACES AT LEAST 60" x 60" ARE LOCATED NOT MORE THAN 200 FEET APART - CONTINUOUS GRADIENTS HAVE 6% LEVEL AREAS NOT MORE THAN 400 FEET APART - CROSS SLOPE DOES NOT EXCEED 2%

SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED AS A RAMP WITH APPROPRIATE HANDRAILS

PATH OF TRAVEL TO BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM. PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL EDGE AND 27" ABOVE FINISH GRADE

KEY NOTES

AREA OF PROPOSED TENANT IMPROVEMENT FOR CALIFORNIA FISH GRILL RESTAURANT

EXISTING DISABLED ACCESS PATH OF TRAVEL TO REMAIN - PREVIOUSLY APPROVED AS PART OF THE OVERALL SITE DEVELOPMENT PERMIT - THIS INTERIOR TENANT IMPROVEMENT DOES NOT MODIFY OR HINDER THE EXISTING PATH OF TRAVEL TO THE ENTRANCE OF THE BUILDING

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California FISH GRILL
RESTAURANT TENANT IMPROVEMENT
THE RANCH - BUILDING "C"
SW CORNER OF VERDUGO AVENUE AND HOLLYWOOD WAY
551 NORTH HOLLYWOOD WAY
BURBANK, CA 91505

SUBMITTAL DATES:

DESCRIPTION	DATE
AGENCY REVIEW / LL SUBMITTAL	12.02.19

REVISION DATES:

NO.	DESCRIPTION	DATE
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PROFESSIONAL SEAL:



PROJECT NUMBER:
TRA JOB NO. 18076

TITLE:
OVERALL REFERENCE
SITE PLAN

SHEET NUMBER:

A1.1

SYMBOLS LEGEND

- WALL TYPE - REFER TO WALL LEGEND AND WALL TYPES - DRAWING A&A
- FLOOR SINK - REFER TO PLUMBING AND FOOD SERVICE DRAWINGS
- FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- MECHANICAL PANEL - REFER TO MECHANICAL DRAWINGS
- ILLUMINATED EXIT SIGN ABOVE DOOR - REFER TO ELECTRICAL DRAWINGS
- DOOR PER SCHEDULE - REFER TO DRAWING A7.2
- WINDOW PER WINDOW TYPES - REFER TO DRAWING A7.2
- FINISH MATERIAL TRANSITION
- EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT IN PLACE
- NEW STRUCTURAL COLUMN - REFER TO STRUCTURAL DRAWINGS
- INDICATES ILLUMINATED EXIT SIGN AND DIRECTIONAL ARROWS TO DISABLED ACCESS DETAILS AND GUIDELINES
- REQUIRED ADA ACCESSIBLE SEATING OR OTHER ACCESS - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES

DIMENSIONS MARKED "VERIFY" - TO BE VERIFIED BY CONTRACTOR IN FIELD - CONTRACTOR SHALL NOTIFY ARCHITECT AND PROVIDE WRITTEN DOCUMENTATION OF ANY DISCREPANCY IN DIMENSIONS PRIOR TO PROCEEDING WITH WORK

EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION - IF THEY DIFFER FROM THOSE SHOWN ON OR IMPLIED ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK

CONTRACTOR SHALL INSPECT THE PREMISES AND MAKE A DETAILED EXAMINATION OF ALL LOCATIONS WHERE NEW WORK IS TO BE INSTALLED - CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND SHALL NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO COMMENCING WORK - CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND UTILITIES ENCOUNTERED IN AREAS WHERE EXCAVATIONS ARE INDICATED AND SHALL REPAIR ANY SUCH DAMAGE WITHOUT ADDITIONAL COST TO THE OWNER - WHERE UTILITY LINES ARE MAINTAINED UNDER BUILDING, THEY SHALL BE PROPERLY SLEEVED THROUGH FOUNDATION WALLS - FOOTINGS SHALL BE DROPPED TO DEPTH BELOW UTILITIES AS REQUIRED BY DETAILS ON DRAWINGS

AFTER INSPECTING PREMISES AND EXAMINING DRAWINGS, CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DEFECTS, DISCREPANCIES, PROBLEMS, UNCERTAINTIES, OR CLEARANCES REQUIRED FOR THE WORK AND THEN AWAIT RESOLUTION PRIOR TO PROCEEDING WITH THE WORK

AT NON-SPANDREL STOREFRONT GLASS TO BE COVERED BY FRAMING - INSTALL OPAGUE WINDOW FILM PRIOR TO INSTALLING FRAMING ON INTERIOR FACE OF GLASS - PRODUCT: 3M PRODUCTS - FASARA OPAGUE BLACK

AT EXPOSED CEILING AREAS WHERE BATT INSULATION IS EXPOSED - INSTALL MATTE BLACK POLY-SCUM NOVA! FACING - STANDARD DUTY - BLACK PAINT CAN BE OMITTED AT AREAS COVERED BY SCUM

REFERENCE FOOD SERVICE DRAWINGS FOR CURB DIMENSIONS AND FLOOR SINK LOCATIONS AND WALL FINISHES - DO NOT SCALE - REFER TO FOOD SERVICE DRAWINGS FOR MOLD TO DIMENSIONS

BLACK DEVICES AND COVER PLATES IN RECLAIMED WOOD AND PUBLIC AREA GYPSUM BOARD SURFACES PAINTED BLACK - WHITE DEVICES AND COVER PLATES IN TILE AND LIGHT MAPLE WOOD FINISHES AND ALL OTHER PUBLIC AREA GYPSUM BOARD PAINTED WHITE - WHITE DEVICES AND STAINLESS STEEL COVER PLATES AT THE BACK OF HOUSE

GENERAL NOTES

DIMENSIONS ARE TO CENTER OF STUD OR COLUMN, FACE OF STUD OR MASONRY, OR CENTER OF DOOR OR WINDOW OPENINGS UNLESS NOTED OTHERWISE - DIMENSIONS FROM EXISTING SURFACES ARE TO FINISHED FACE - HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION 0'-0" UNLESS NOTED OTHERWISE - REFER TO PROJECT GENERAL NOTES FOR ADDITIONAL CRITERIA REGARDING DIMENSIONS

REVIEW PROPOSED WALL LOCATIONS PRIOR TO COMMENCING WORK AND CONTACT ARCHITECT IF THERE ARE ANY STRUCTURAL ELEMENTS OR OTHER ITEMS THAT PRECLUDE A CONTINUOUS FLUSH FINISH FOR ENTIRE LENGTH OF WALL - OFFSET STUDS OR FLUR AS REQUIRED TO CREATE FLUSH FINISHES ON ADJACENT WALL SURFACES - FIELD REVIEW CONDITIONS FOR WALLS PARALLEL TO EXISTING SPRAWLER LINES, HVAC DUCTS, OR OTHER UTILITIES - BID AS REQUIRED TO RELOCATE EXISTING ELEMENTS IN CONFLICT - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES DRAWINGS FOR ADDITIONAL INFORMATION ON DISABLED ACCESS STANDARDS AND DETAILS - NOTIFY ARCHITECT IF LAYOUT WILL NOT PERMIT CLEARANCES SHOWN

PROVIDE ADEQUATE REINFORCING AT WALLS AND CEILINGS SCHEDULED TO RECEIVE RECESSED, SURFACE MOUNTED, OR SUSPENDED EQUIPMENT AS REQUIRED FOR PROPER INSTALLATION - PROVIDE BLOCKING AT ALL POINTS OF ATTACHMENT FOR MILLWORK AND SUPPORTS - NOTATIONS ON DRAWINGS ARE FOR INFORMATIONAL PURPOSES - BLOCKING IS NOT LIMITED TO NOTED AREAS - WALL MOUNTED ACCESSORIES ARE TO BE CALKED TO WALL - COLOR TO MATCH ADJACENT SURFACE

CONCEAL PLUMBING AND ELECTRICAL WITHIN BUILDING STRUCTURE - MOOPY FRAMING SIZES AS REQUIRED TO ACCOMPLISH INSTALLATION WITHOUT VIOLATIONS IN WALL OR CEILING PLANE - PROVIDE 6 INCH STUDS AT WALLS WHICH RECEIVE RECESSED PANELS OF OVER 2-1/2 INCHES IN DIAMETER - PROVIDE FURRED WALLS AS REQUIRED FOR UTILITY AND DRAIN LINES EXTENDING UP INTERIOR SURFACES OF EXISTING WALLS - PARTITIONS ADJUTING EXISTING CONSTRUCTION SHALL ALIGN FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE - PATCH, REFINISH, AND REPAIR ALL EXISTING CONSTRUCTION ADJACENT TO REVOLUTION AND NEW CONSTRUCTION

PROVIDE SENSING THE DOOR FOR WATER HEATER, STORAGE TANK AND CO2 TANK AS REQUIRED BY LOCAL BUILDING CODE - HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED AND FREE FROM SHARP OR ABRASIVE SURFACES

REFER TO FOOD SERVICE DRAWINGS FOR KITCHEN EQUIPMENT SPECIFICATIONS - REFER TO PLUMBING DRAWINGS FOR LOCATIONS OF FLOOR SINKS AND FLOOR DRAINS - REFER TO FINISH SCHEDULE, FINISH PLAN AND INTERIOR ELEVATIONS FOR INFORMATION ON APPLIED FINISHES - PROVIDE WATER RESISTANT GYPSUM BOARD AT KITCHEN AND RESTROOMS AS INDICATED

ILLUMINATED EXIT SIGNS SHALL HAVE LETTERS WITH 3/4 INCH MINIMUM WIDE STROKE BY 6 INCHES HIGH ON CONTRASTING BACKGROUND AND SHALL BE INTERNALLY ILLUMINATED IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES - EXITS SHALL COMPLY WITH ALL APPLICABLE CODES - REPLACE EXISTING HARDWARE WHICH DOES NOT CONFORM TO BUILDING STANDARD OR HANDICAP STANDARDS

PROVIDE PORTABLE FIRE EXTINGUISHER WITH RATING NOT LESS THAN 2A OR 2AB BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF BUILDING DURING CONSTRUCTION AND AFTER COMPLETION - EXTINGUISHERS TO BE INSTALLED IN SIGN-RECESSED CABINETS IN EASILY ACCESSIBLE LOCATIONS - CONTRY FINN LOCATIONS WITH FIRE MASHGUNS - PROVIDE EXTINGUISHERS WITH RATING NOT LESS THAN TYPE K 40 BC IN KITCHEN - CONSPICUOUSLY MARK GAS SHUT-OFF VALVE - PROVIDE EXTINGUISHERS AT ELECTRICAL ROOMS AS REQUIRED

COORDINATE FINAL LOCATION OF ALL ACCESS PANELS PRIOR TO INSTALLATION

WALLS SEPARATING PUBLIC AREAS FROM SERVICE AREAS AND FROM TOILET ROOMS TO BE FULLY INSULATED WITH SOUND INSULATION BATTIS WIRED IN PLACE PROVIDE SOUND BATTIS IN PARTITION SEPARATING MEN'S AND WOMEN'S TOILET ROOMS - LAY INSULATION BATTIS CONTINUOUSLY IN CEILING ABOVE TOILET ROOMS

MAXIMUM OCCUPANT LOAD SHALL BE CONSPICUOUSLY POSTED IN AREAS EXCEEDING 50 PERSONS NEAR MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE - LETTERING SHALL BE OF CONTRASTING COLOR TO SIGN BACKGROUND

INSTALL ANY FURNITURE PROVIDED BY OWNER - UNLESS NOTED OTHERWISE

TACTILE EXIT SIGNS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
 • IDENTIFY EACH GRADE LEVEL EXTERIOR DOOR WITH A TACTILE EXIT SIGN WITH THE WORD "EXIT"
 • IDENTIFY EACH EXIT OR EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY REQUIRED TO HAVE VISUAL EXIT SIGN BY TACTILE EXIT SIGN WITH WORDS "EXIT ROUTE"

INTERIOR CONCRETE SLABS SHALL BE POLURED LEVEL TO WITHIN 1/8" TOLERANCE ON A 10'-0" EDGE IN ANY GIVEN DIRECTION UNLESS OTHERWISE INDICATED

REFER TO METAL STUD FRAMING DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON NON-BEARING METAL STUD FRAMING - PROVIDE FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS - INCLUDING FURRED SPACES AND PENETRATIONS OF PIPES, CONDUITS AND DUCTS - AT CEILING / FLOOR LEVEL AND 10 FOOT INTERVALS BOTH VERTICALLY AND HORIZONTALLY

THE FOLLOWING APPLIES TO FLOORS RAISED ABOVE GRADE OR OVER OCCUPIED SPACES: ALL PENETRATIONS THROUGH CONCRETE SLABS SHALL BE CORE DRILLED, SLEEVED, SEALED, FIRESTOPPED AND WATERPROOFED - PIPING SLEEVES TO EXTEND A MINIMUM OF 4 INCHES IN HEIGHT OR EQUAL TO HEIGHT OF EQUIPMENT BASE - PROVIDE TEMPORARY PROTECTION AS REQUIRED - WET AREAS SHALL BE WATERPROOFED USING 30 MIL POLYETHYLENE CLEARANCE MEMBRANE - EQUAL TO NOBLESEAL TS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS - MEMBRANE SHALL EXTEND AROUND PERIMETER OF PREMISES AND MINIMUM OF 6 INCHES IN HEIGHT - SLEEVES AND FIXTURES TO BE FLASHED INTO MEMBRANE AND SEALED PER MANUFACTURER'S INSTRUCTIONS - DEMONSTRATE MEMBRANE INTEGRITY TO OWNER AND LANDLORD PRIOR TO APPLYING FINISH FLOORING

THE FOLLOWING APPLIES TO TENANT IMPROVEMENTS: PROVIDE BATT INSULATION AT ROOF AND EXTERIOR PERIMETER WALLS IF NOT EXISTING - INSULATION THICKNESS TO COMPLY WITH MINIMUM OF R-19 AT WALLS AND R-30 AT ROOF - CONTRACTOR TO REPLACE ANY EXISTING DAMAGED BATT TO NEW APPEARANCE CONDITIONS WITH BATT OF EQUAL R VALUE

PROVIDE FIRE RESISTANT BACKING FOR MILLWORK FIXTURES AND WALL MOUNTED ACCESSORIES IN BUILDINGS REQUIRING NON-COMBUSTIBLE CONSTRUCTION - WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED MOISTURE RESISTANT WOOD

WALL LEGEND

SEE FINISH SCHEDULE / INTERIOR ELEVATIONS FOR INTERIOR FINISHES - SEE METAL FRAMING DETAILS / SPECIFICATIONS FOR ADDITIONAL INFORMATION ON NON-BEARING METAL STUD FRAMING

- EXISTING WALL TO REMAIN:
 - CONSTRUCTION TO REMAIN PROTECTED IN PLACE - VERIFY QUALITY OF EXISTING SURFACES
 - PREPARE AND PATCH OR PROVIDE FLURRING AS REQUIRED TO RECEIVE NEW FINISHES
- EXISTING FIRE RATED WALL TO REMAIN:
 - FIRE RATED WALL CONSTRUCTION TO REMAIN - PROTECT IN PLACE - VERIFY QUALITY OF EXISTING SURFACES
 - REPAIR OPENINGS WITH 5/8" TYPE X GYPSUM BOARD OF SUFFICIENT LAYERS TO MAINTAIN REQUIRED FIRE RATING - FIRESTOP AND SMOKESEAL ALL PENETRATIONS
 - PREPARE AND PATCH OR PROVIDE FLURRING AS REQUIRED TO RECEIVE NEW FINISHES
- EXISTING TENANT DEMISING WALL:
 - EXISTING FULL HEIGHT METAL FRAMING TO REMAIN - INSTALL 5/8" TYPE X GYPSUM BOARD FULL HEIGHT - FLOOR TO ROOF OR FLOOR DECK ABOVE
 - INSTALL 3-1/2" UNFACED SOUND BATTIS - FIRESTOP / SMOKESEAL PENETRATIONS
- EXISTING CONSTRUCTION TO BE REMOVED:
 - REFER TO STRUCTURAL DRAWINGS FOR INFORMATION AT BEARING WALLS TO BE REMOVED - WHERE APPLICABLE
 - PATCH AND REPAIR ADJACENT SURFACES TO RECEIVE NEW FINISHES
- TYPICAL NON-BEARING INTERIOR WALL:
 - 3x5x5/8-33 METAL FRAMING AT 16 INCHES OC - UNO
 - WALL EXTENDS 6 INCHES ABOVE HIGHEST ADJACENT CEILING - UNO
 - WHERE APPLICABLE - REFER TO ENLARGED FLOOR PLANS FOR ADDITIONAL CONSTRUCTION INFORMATION RELATED TO INTERIOR WALLS
- INTERIOR NON-BEARING SOUND-RATED WALL:
 - CONSTRUCT TYPICAL NON-BEARING INTERIOR WALL - INSTALL 3-1/2" THICK UNFACED SOUND BATTIS IN WALL CAVITY - WIRE IN PLACE
- INTERIOR NON-BEARING COOKLINE WALL:
 - 6008A2-43 METAL FRAMING AT 16 INCHES OC - UNO - INSTALL 3-1/2" THICK MINERAL FIBER BATTIS IN WALL CAVITY - WIRE IN PLACE
- TYPICAL FULL HEIGHT NON-BEARING INTERIOR WALL:
 - WALL EXTENDS TO UNDERSIDE OF ROOF OR FLOOR STRUCTURE ABOVE
- INDICATES LOW WALL BY MILLWORK VENDOR - NIC
- TYPICAL NON-BEARING FIRE RATED INTERIOR WALL:
 - 3x5x5/8-33 METAL FRAMING AT 16 INCHES OC - UNO - WITH 5/8" TYPE X GYPSUM BOARD - FIRESTOP AND SMOKESEAL PENETRATIONS
 - WALL EXTENDS FULL HEIGHT TO ROOF OR FLOOR STRUCTURE ABOVE
- TYPICAL NON-BEARING PARTIAL HEIGHT INTERIOR WALL:
 - 3x5x5/8-33 GAUGE METAL FRAMING AT 16 INCHES OC - UNO
 - REFER TO FLOOR PLAN FOR WALL HEIGHT

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FISH GRILL
 RESTAURANT TENANT IMPROVEMENT
 THE RANCH - BUILDING 'C'
 SW CORNER OF VERUGO AVENUE AND HOLLYWOOD WAY
 551 NORTH HOLLYWOOD WAY
 BURBANK, CA 91505

SUBMITTAL DATES:
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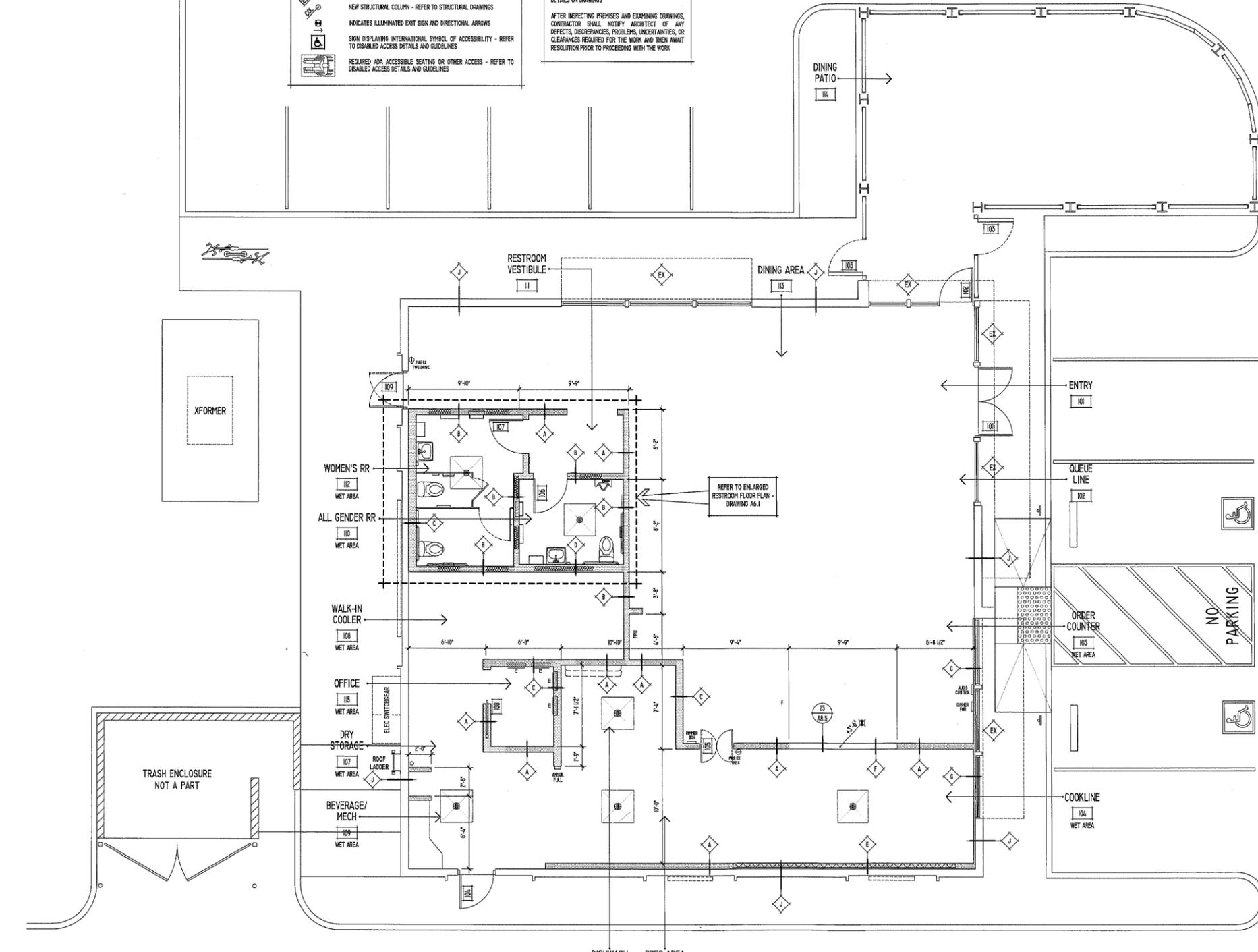
PROFESSIONAL SEAL:

PROJECT NUMBER:
 TRA JOB NO. 18076

TITLE:
 DIMENSIONED FLOOR PLAN -
 GENERAL NOTES - WALL
 LEGEND - SYMBOLS LEGEND

SHEET NUMBER:

A2.1



DIMENSIONED FLOOR PLAN

SCALE: 1/4" = 1'-0"

SEATING TABULATION

2 TOP SETTEE	2 SEATS PER TABLE	X	11 TABLES	=	22 SEATS
4 TOP SETTEE	4 SEATS PER TABLE	X	9 TABLES	=	36 SEATS
TOTAL INTERIOR RESTAURANT SEATING					= 58 SEATS
ACCESSIBLE SEATING: 58 SEATS X 5% = 1 PER 20					= 3 SEATS
ACCESSIBLE SEATING - PROVIDED					= 3 SEATS

2 TOP TABLE	2 SEATS PER TABLE	X	22 TABLES	=	44 SEATS
TOTAL EXTERIOR PATIO DINING SEATING					= 44 SEATS
ACCESSIBLE SEATING: 44 SEATS X 5% = 1 PER 20					= 3 SEATS
ACCESSIBLE SEATING - PROVIDED					= 3 SEATS

AT NON-SPANDREL STOREFRONT GLASS TO BE COVERED BY FRAMING - INSTALL OPAQUE WINDOW FILM PRIOR TO INSTALLING FRAMING ON INTERIOR FACE OF GLASS - PRODUCT: 3M PRODUCTS - FASARA OPAQUE BLACK

AT EXPOSED CEILING AREAS WHERE BATT INSULATION IS EXPOSED - INSTALL MATTE BLACK POLY-SCRIM KRAFT FACING - STANDARD DUTY - BLACK PAINT CAN BE OMITTED AT AREAS COVERED BY SCRIM

BLACK DEVICES AND COVER PLATES IN RECLAIMED WOOD AND PUBLIC AREA GYPSUM BOARD SURFACES PAINTED BLACK - WHITE DEVICES AND COVER PLATES IN TILE AND LIGHT MAPLE WOOD FINISHES AND ALL OTHER PUBLIC AREA GYPSUM BOARD PAINTED WHITE - WHITE DEVICES AND STAINLESS STEEL COVER PLATES AT THE BACK OF HOUSE

REFERENCE FOOD SERVICE DRAWINGS FOR CLBB DIMENSIONS AND FLOOR SINKS AND WALL BACKING - DO NOT SCALE

KEY NOTES

- FP01: DISABLED ACCESS SIGNAGE - AFFIX SIGN DISPLAYING THE INTERNATIONAL ACCESSIBILITY SYMBOL AT ALL ACCESSIBLE ENTRANCES - COMPLY WITH ADA REGULATIONS - REFER TO DETAIL W/A9.2
- FP02: 60 INCH DIAMETER WHEELCHAIR TURNING RADIUS - REFER TO DETAIL 2/A9.2
- FP03: 30 INCH X 48 INCH CLEAR FLOOR SPACE - FOR FORWARD APPROACH
- FP04: PROPOSED LOCATION OF AISC EXTINGUISHER IN CABINET - VERIFY LOCATION WITH FIRE MARSHALL AND OWNER - MAXIMUM DISTANCE TO FIRE EXTINGUISHER NO GREATER THAN 75 FEET - TO BE LOCATED IN SEMI RECESSED CABINETS HUNG NO HIGHER THAN 44" TO TOP OF EXTINGUISHER FROM FINISH FLOOR
- FP05: PROPOSED LOCATION OF ABC EXTINGUISHER - VERIFY LOCATION WITH FIRE MARSHALL AND OWNER - HUNG NO HIGHER THAN 44" TO TOP OF EXTINGUISHER FROM FINISH FLOOR
- FP06: TACTILE EXIT SIGN MOUNTED TO LATCH SIDE OF SINGLE DOORS AND TO THE RIGHT OF DOUBLE DOORS - REFER TO DETAIL 5/A9.2
- FP07: FOOD SERVICE EQUIPMENT FURNISHED AND INSTALLED BY OTHERS - EQUIPMENT ROUGH-INS AND FINAL CONNECTIONS BY CONTRACTOR
- FP08: HOP SINK - REFER TO PLUMBING AND FOOD SERVICE DRAWINGS - INSTALL FRP FINISH OVER TILE BACKER BOARD TO A HEIGHT OF 6'-0" ON BACK AND SIDE WALLS
- FP09: EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT IN PLACE - CLAD EXPOSED COLUMNS WITH STAINLESS STEEL IN FOOD PREPARATION AREAS UNLESS NOTED OTHERWISE
- FP10: ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- FP11: 3-1/2" UNFACED SOUND INSULATION IN WALL CAVITY - WIRED IN PLACE - TYPICAL BETWEEN KITCHEN AND PUBLIC AREAS AND COMMON WALLS OF RESTROOM
- FP12: NOT USED
- FP13: MILLWORK: FIXTURE FURNISHED AND INSTALLED BY OTHERS - NIC
- FP14: LOOSE TABLES AND CHAIRS - PATIO TABLES INSTALLED BY GC, DINING TABLES INSTALLED BY MILLWORK CONTRACTOR
- FP15: WATER HEATER - REFER TO PLUMBING DRAWINGS
- FP16: FLOOR SINK - REFER TO PLUMBING DRAWINGS
- FP17: FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- FP18: 48" X 48" AREA SLOPED TO FLOOR DRAIN - REFER TO PLUMBING DWGS AND DETAIL 3/A8.5
- FP19: DISABLED ACCESSIBLE TABLE - HEIGHT OF TABLES AND COUNTERS SHALL BE 28" MINIMUM TO 34" MAXIMUM - MANEUVERING CLEARANCE SHALL BE 30" X 48" - KNEE CLEARANCE SHALL BE 27" HIGH X 19" DEEP X 30" WIDE
- FP20: LINE OF OVERHANG OF SOFFIT ABOVE - REFER TO REFLECTED CEILING PLAN
- FP21: EXTERIOR LANDING AREA TO BE 2% MAXIMUM SLOPE
- FP22: FOOD SERVICE EQUIPMENT: PREFABRICATED WALK-IN COOLER WALLS AND CEILING - FURNISHED AND INSTALLED BY OTHERS - ADJACENT FLOOR AND BASE INSTALLED AFTER COOLER / FREEZER UNITS HAVE BEEN SET
- FP23: BULK CO2 TANK WITH REMOTE EXTERIOR FILLER SPOUT
- FP24: FOOD SERVICE EQUIPMENT: MANUFACTURER'S FREEZER FLOOR AND STEP BY COOLER MANUFACTURER - NIC
- FP25: STAINLESS STEEL CLOSURE STRIP TO SEAL COOLER / FREEZER TO WALL
- FP26: NOT USED
- FP27: EXISTING ROOF ACCESS LADDER TO REMAIN - PROTECT IN PLACE
- FP28: LOW WALL BY MILLWORK CONTRACTOR - REFER TO WALL LEGEND
- FP29: MAXIMUM ROOM OCCUPANCY SIGN TO READ: "OCCUPANT LOAD = 179 MAXIMUM"
- FP30: HAND SINK - REFER TO PLUMBING AND FOOD SERVICE DRAWINGS
- FP31: A READILY VISIBLE DURABLE SIGN SHALL BE POSTED ON THE EGRESS SIDE ABOVE OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" - THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND

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BURBANK, CA 91505

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DESCRIPTION DATE
AGENCY REVIEW / LL SUBMITTAL 12.02.19
HEALTH RESUBMITTAL 01.17.20
AGENCY RESUBMITTAL 07.17.20

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1 HEALTH RESUBMITTAL 01.17.20
2 AGENCY RESUBMITTAL 07.17.20

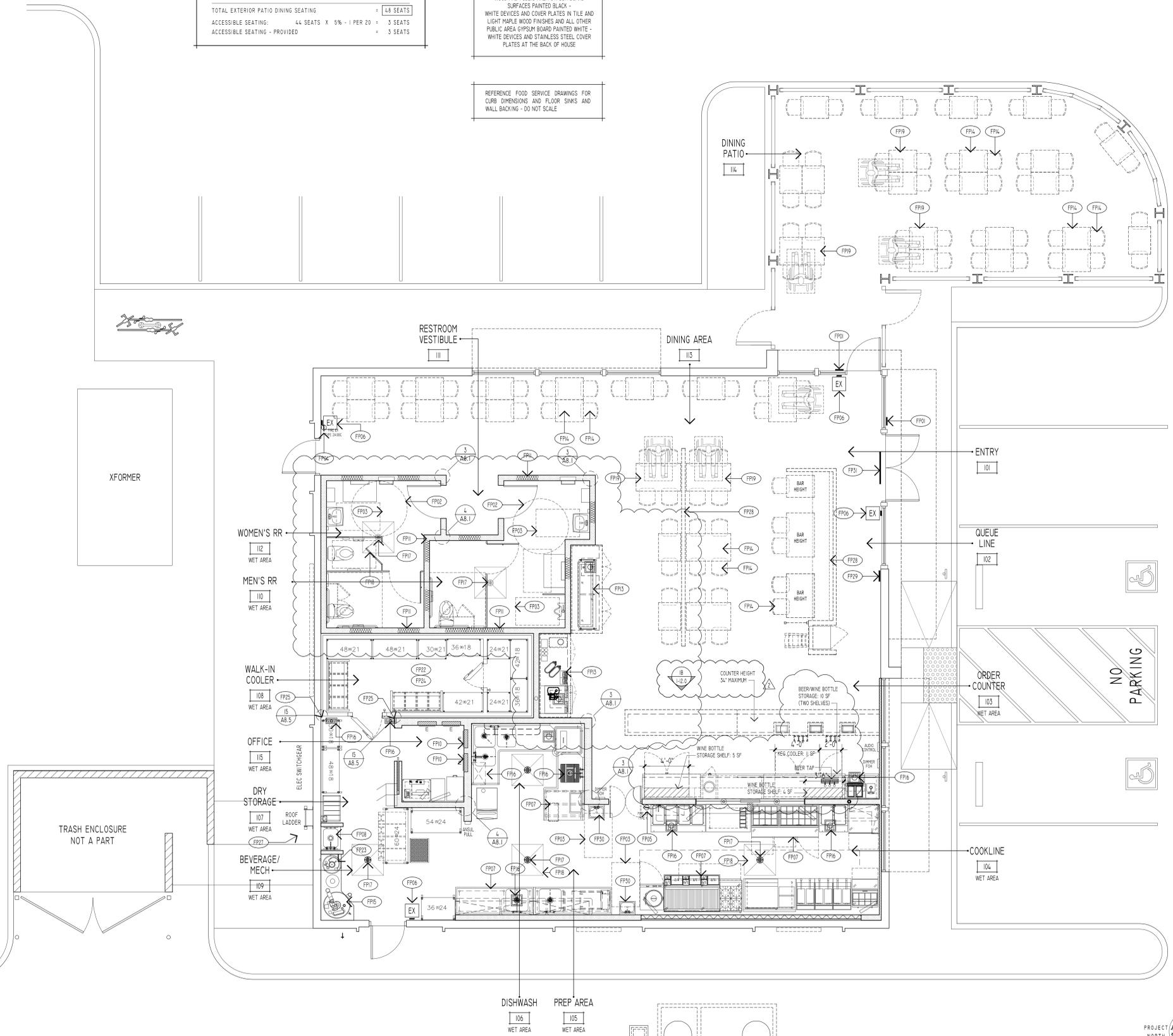
PROFESSIONAL SEAL:
MICHAEL N. RILEY
REGISTERED ARCHITECT
NO. 151848
EXPIRES 11/30/2027
STATE OF CALIFORNIA

PROJECT NUMBER:
TRA JOB NO. 18076

TITLE:
NOTED FLOOR AND
EGRESS PLAN

SHEET NUMBER:

A2.2



NOTED FLOOR AND EGRESS PLAN

SCALE: 1/4" = 1'-0"

EXITING LEGEND

- CLEAR FLOOR EXIT SPACE - REFER TO ACCESSIBILITY GUIDELINES AND DETAILS FOR ADDITIONAL INFORMATION
- CLEAR EXIT PATH OF TRAVEL: INDICATES 36" MINIMUM CLEAR AISLE
- TACTILE EXIT SIGN - SYMBOLS AS FOLLOWS:
EX = EXIT
ER = EXIT ROUTE
ES = EXIT STAIR / RAMP AS APPLICABLE
- REFER TO DETAIL 1/A9.1 FOR SIGNAGE DESIGN AND MOUNTING REQUIREMENTS
- REFER TO DETAIL 2/A7.2 FOR ACCESSIBLE SIGNAGE MOUNTING AND CLEARANCE REQUIREMENTS
- REFER TO DETAIL 3/A7.2 FOR TACTILE EGRESS SIGNAGE MOUNTING REQUIREMENTS

SYMBOLS LEGEND

- WALL TYPE - REFER TO WALL LEGEND AND WALL TYPES - DRAWING A/X
- FLOOR SINK - REFER TO PLUMBING AND FOOD SERVICE DRAWINGS
- FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- MECHANICAL PANEL - REFER TO MECHANICAL DRAWINGS
- ILLUMINATED EXIT SIGN ABOVE DOOR - REFER TO ELECTRICAL DRAWINGS
- DOOR PER SCHEDULE - REFER TO DRAWING A7.2
- WINDOW PER WINDOW TYPES - REFER TO DRAWING A7.2
- FINISH MATERIAL TRANSITION
- EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT IN PLACE
- NEW STRUCTURAL COLUMN - REFER TO STRUCTURAL DRAWINGS
- INDICATES ILLUMINATED EXIT SIGN AND DIRECTIONAL ARROWS
- SIGN DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES
- REQUIRED ADA ACCESSIBLE SEATING OR OTHER ACCESS - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES

SEATING TABULATION

2 TOP SETTEE	2 SEATS PER TABLE	X	11 TABLES	= 22 SEATS
4 TOP SETTEE	4 SEATS PER TABLE	X	9 TABLES	= 36 SEATS
TOTAL INTERIOR RESTAURANT SEATING = 58 SEATS				
ACCESSIBLE SEATING: 58 SEATS X 5% = 3 SEATS				
ACCESSIBLE SEATING - PROVIDED = 3 SEATS				
<hr/>				
2 TOP TABLE	2 SEATS PER TABLE	X	22 TABLES	= 44 SEATS
TOTAL EXTERIOR PATIO DINING SEATING = 44 SEATS				
ACCESSIBLE SEATING: 44 SEATS X 5% = 3 SEATS				
ACCESSIBLE SEATING - PROVIDED = 3 SEATS				

AT NON-SPRINKLED STOREFRONT GLASS TO BE COVERED BY FRAMING - INSTALL OPACQUE WINDOW FILM FROM TO INSTALLING FRAMING ON INTERIOR FACE OF GLASS - PRODUCT: 3M PRODUCTS - FASARA OPAQUE BLACK

AT EXPOSED CEILING AREAS WHERE BATT INSULATION IS EXPOSED - INSTALL MATTIE BLACK POLY-ESTER KRAFT FACING - STANDARD DUTY - BLACK PAINT CAN BE OMITTED AT AREAS COVERED BY SCRYM

BLACK DEVICES AND COVER PLATES IN RECLAIMED WOOD AND PUBLIC AREA GYPSUM BOARD SURFACES PAINTED BLACK - WHITE DEVICES AND COVER PLATES IN TILE AND LIGHT MAPLE WOOD FINISHES AND ALL OTHER PUBLIC AREA GYPSUM BOARD PAINTED WHITE - WHITE DEVICES AND STAINLESS STEEL COVER PLATES AT THE BACK OF HOUSE

REFERENCE FOOD SERVICE DRAWINGS FOR CLUB DIMENSIONS AND FLOOR FINISHES AND WALL BACKING - DO NOT SCALE

KEY NOT

- FP01: DISABLED ACCESS SIGNAGE - AFFIX SIGN DISPLAYING THE INTERNATIONAL ACCESSIBILITY SYMBOL AT ALL ACCESSIBLE ENTRANCES - COMPLY WITH ADA REGULATIONS - REFER TO DETAIL 11A.2
- FP02: 60 INCH DIAMETER WHEELCHAIR TURNING RADIUS - REFER TO DETAIL 21A.2
- FP03: 30 INCH X 48 INCH CLEAR FLOOR SPACE - FOR FORWARD APPROACH
- FP04: PROPOSED LOCATION OF ZABRC EXTINGUISHER IN CABINET - VERIFY LOCATION WITH FIRE MARSHALL AND OWNER - MAXIMUM DISTANCE TO FIRE EXTINGUISHER NO GREATER THAN 75 FEET - TO BE LOCATED IN SEMI RECESSED CABINETS HUNG NO HIGHER THAN 44" TO TOP OF EXTINGUISHER FROM FINISH FLOOR
- FP05: PROPOSED LOCATION OF ABC EXTINGUISHER - VERIFY LOCATION WITH FIRE MARSHALL AND OWNER - HUNG NO HIGHER THAN 44" TO TOP OF EXTINGUISHER FROM FINISH FLOOR
- FP06: TACTILE EXIT SIGN MOUNTED TO LATCH SIDE OF DOUBLE DOORS AND TO THE RIGHT OF DOUBLE DOORS - REFER TO DETAIL 51A.2
- FP07: FOOD SERVICE EQUIPMENT FURNISHED AND INSTALLED BY OTHERS - EQUIPMENT ROUGH-INS AND FINAL CONNECTIONS BY CONTRACTOR
- FP08: KOP SINK - REFER TO PLUMBING AND FOOD SERVICE DRAWINGS - INSTALL FRP FINISH OVER TILE BACKER BOARD TO A HEIGHT OF 6'-0" ON BACK AND SIDE WALLS
- FP09: EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT IN PLACE - CLAD EXPOSED COLUMNS WITH STAINLESS STEEL. IN FOOD PREPARATION AREAS UNLESS NOTED OTHERWISE
- FP10: ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- FP11: 5/8" UNFACED SOUND INSULATION IN WALL CAVITY - WIRED IN PLACE - TYPICAL BETWEEN KITCHEN AND PUBLIC AREAS AND COMMON WALLS OF RESTROOM
- FP12: NOT USED
- FP13: MILLWORK: FIXTURE FURNISHED AND INSTALLED BY OTHERS - NIC
- FP14: LOOSE TABLES AND CHAIRS - PATIO TABLES INSTALLED BY GC, DINING TABLES INSTALLED BY MILLWORK CONTRACTOR
- FP15: WATER HEATER - REFER TO PLUMBING DRAWINGS
- FP16: FLOOR SINK - REFER TO PLUMBING DRAWINGS
- FP17: FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
- FP18: 48" X 48" AREA SLOPED TO FLOOR DRAIN - REFER TO PLUMBING DWGS AND DETAIL 51A.5
- FP19: DISABLED ACCESSIBLE TABLE - HEIGHT OF TABLES AND COUNTERS SHALL BE 28" MINIMUM TO 34" MAXIMUM - MANEUVERING CLEARANCE SHALL BE 30" X 48" - KNEE CLEARANCE SHALL BE 27" HIGH X 19" DEEP X 30" WIDE
- FP20: LINE OF OVERHANG OF SOFFIT ABOVE - REFER TO REFLECTED CEILING PLAN
- FP21: EXTERIOR LANDING AREA TO BE 2% MAXIMUM SLOPE
- FP22: FOOD SERVICE EQUIPMENT: PREFABRICATED WALK-IN COOLER WALLS AND CEILING - FURNISHED AND INSTALLED BY OTHERS - ADJACENT FLOOR AND BASE INSTALLED AFTER COOLER / FREEZER UNITS HAVE BEEN SET
- FP23: BULK CO2 TANK WITH REMOTE EXTERIOR FILLER SPOUT
- FP24: FOOD SERVICE EQUIPMENT: MANUFACTURER'S FREEZER FLOOR AND STEP BY COOLER MANUFACTURER - NIC
- FP25: STAINLESS STEEL CLOSURE STRIP TO SEAL COOLER / FREEZER TO WALL
- FP26: NOT USED
- FP27: EXISTING ROOF ACCESS LADDER TO REMAIN - PROTECT IN PLACE
- FP28: LOW WALL BY MILLWORK CONTRACTOR - REFER TO WALL LEGEND
- FP29: MAXIMUM ROOM OCCUPANCY SIGN TO READ: "OCCUPANT LOAD = 179 MAXIMUM"
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AGENCY REVIEW / LL SUBMITTAL 12.02.19

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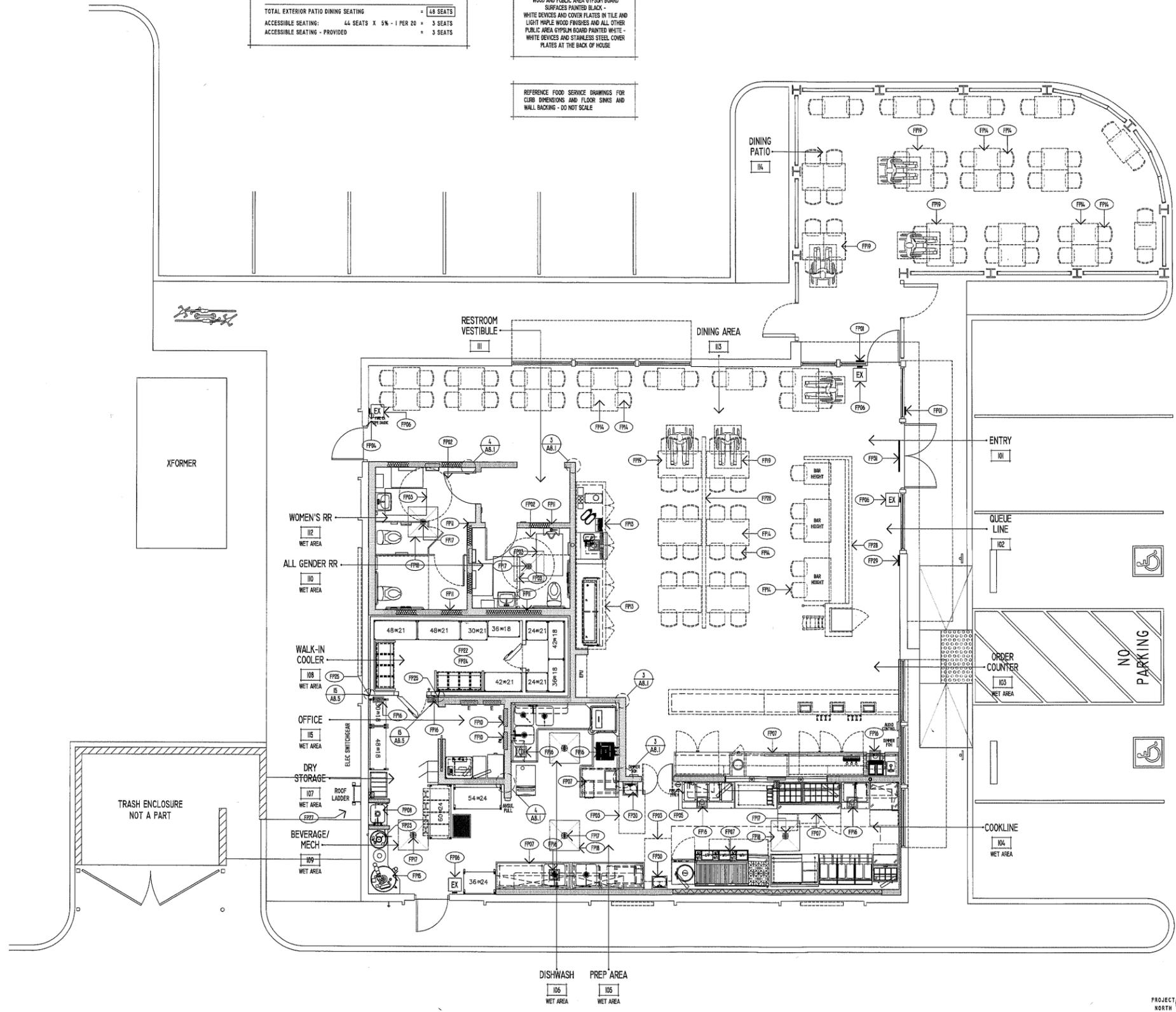
PROFESSIONAL SEAL:


PROJECT NUMBER:
TRA JOB NO. 18076

TITLE:
NOTED FLOOR AND
EGRESS PLAN

SHEET NUMBER:

A2.2



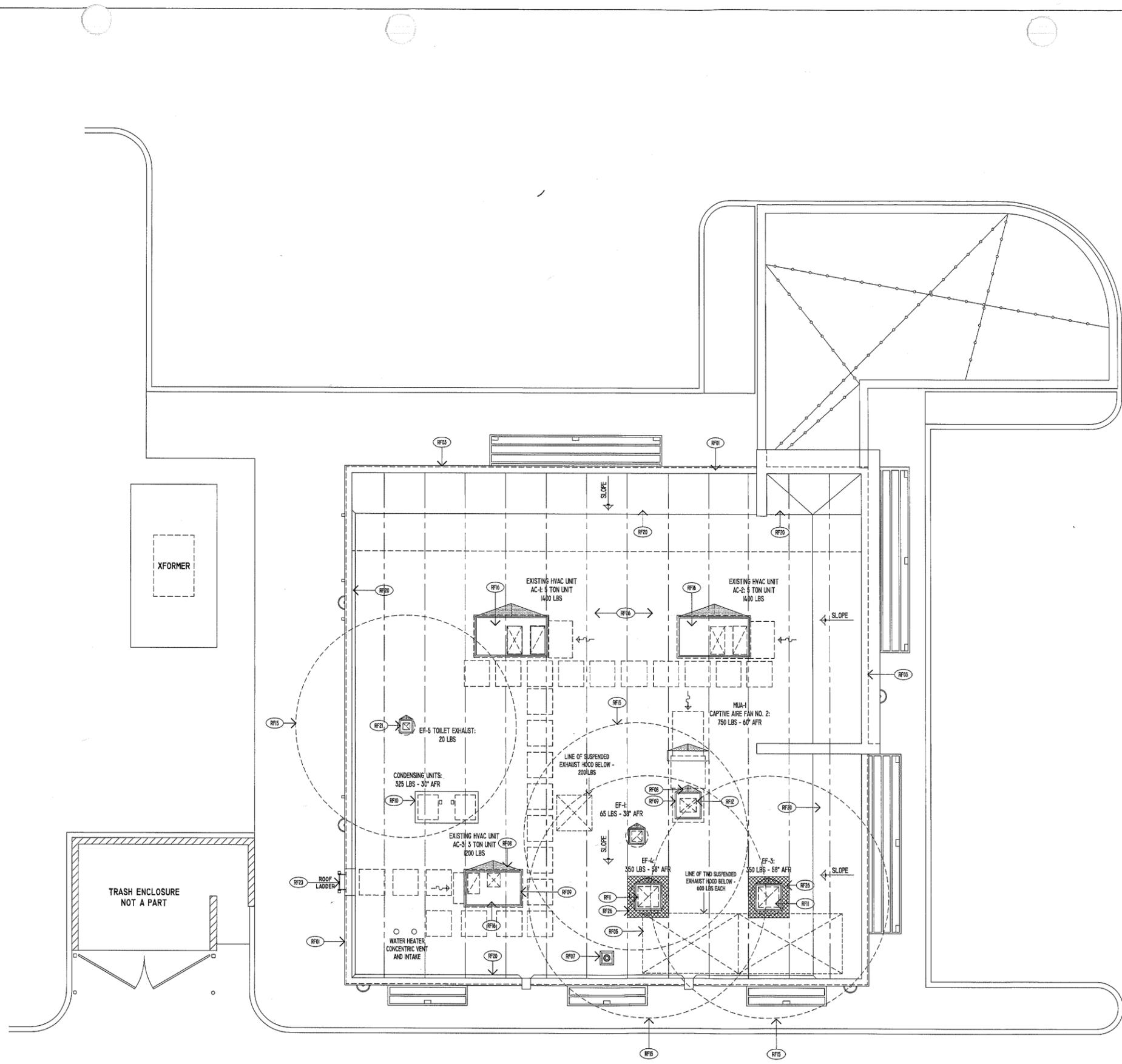
NOTED FLOOR AND EGRESS PLAN
SCALE: 1/4" = 1'-0"

EXITING LEGEND

-  CLEAR FLOOR EXIT SPACE: REFER TO ACCESSIBILITY GUIDELINES AND DETAILS FOR ADDITIONAL INFORMATION
-  CLEAR EXIT PATH OF TRAVEL: INDICATES 36" MINIMUM CLEAR AISLE
-  TACTILE EXIT SIGN - SYMBOLS AS FOLLOWS:
EX = EXIT
ER = EXIT ROUTE
ES = EXIT STAIR / RAMP AS APPLICABLE
- REFER TO DETAIL 11A.1 FOR SIGNAGE DESIGN AND MOUNTING REQUIREMENTS
- REFER TO DETAIL 21A.2 FOR ACCESSIBLE SIGNAGE MOUNTING AND CLEARANCE REQUIREMENTS
- REFER TO DETAIL 51A.2 FOR TACTILE EGRESS SIGNAGE MOUNTING REQUIREMENTS

SYMBOLS LEGEND

-  WALL TYPE - REFER TO WALL LEGEND AND WALL TYPES - DRAWING A1.X
-  FLOOR SINK - REFER TO PLUMBING AND FOOD SERVICE DRAWINGS
-  FLOOR DRAIN - REFER TO PLUMBING DRAWINGS
-  ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
-  MECHANICAL PANEL - REFER TO MECHANICAL DRAWINGS
-  ILLUMINATED EXIT SIGN ABOVE DOOR - REFER TO ELECTRICAL DRAWINGS
-  DOOR PER SCHEDULE - REFER TO DRAWING A1.2
-  WINDOW PER WINDOW TYPES - REFER TO DRAWING A1.2
-  FINISH MATERIAL TRANSITION
-  EXISTING STRUCTURAL COLUMN TO REMAIN - PROTECT IN PLACE
-  NEW STRUCTURAL COLUMN - REFER TO STRUCTURAL DRAWINGS
-  INDICATES ILLUMINATED EXIT SIGN AND DIRECTIONAL ARROWS
-  SIGN DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES
- REQUIRED ADA ACCESSIBLE SEATING OR OTHER ACCESS - REFER TO DISABLED ACCESS DETAILS AND GUIDELINES



PARTIAL ROOF AND MECHANICAL EQUIPMENT PLAN

PROJECT NORTH
SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES

REFER TO DRAWING AXX.X FOR ADDITIONAL ROOF PLAN GENERAL NOTES
 PROVIDE SEALANT AT ALL SCREW / NAIL PENETRATIONS THAT OCCUR AT FLASHINGS - ALL MECHANICAL FASTENERS PENETRATING TREATED WOOD BLOCKING MUST BE STAINLESS STEEL.
 PROVIDE ISOLATIONS BETWEEN ALL ALUMINUM AND MILD STEEL MATERIALS AND ALL TREATED WOOD BLOCKING - HYPERKOLIC FABRIC, OR FLASHING MUST BE OF A MATERIAL AS RECOMMENDED BY THE TREATED WOOD MANUFACTURER AND METALS MANUFACTURER(S) - ALL FASTENERS PENETRATING TREATED BLOCKING MUST BE STAINLESS STEEL OR OF A TYPE APPROVED TREATED WOOD, METALS AND ROOFING MANUFACTURERS - TYPICAL FOR ALL DETAILS ON THIS DRAWING SET
 ANY ROOF SYSTEM MODIFICATIONS SHALL BE MADE IN DIRECT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

ROOF KEY NOTES

- RF01: LINE OF EXISTING PARAPET TO REMAIN - PROTECT IN PLACE
- RF02: LINE OF EXISTING BEHINDING WALL BETWEEN RESTAURANT AND ADJACENT TENANT
- RF03: LINE OF EXTERIOR WALL BELOW
- RF04: LINE OF EXISTING ROOF STRUCTURE BELOW
- RF05: LINE OF EXHAUST HOOD BELOW IN RESTAURANT KITCHEN
- RF06: EXISTING ROOFING SYSTEM TO REMAIN - PATCH AND REPAIR AS REQUIRED AT ALL NEW OPENINGS, MECHANICAL UNITS, PARAPETS OR PENETRATIONS
- RF07: EXISTING ROOF DRAIN TO REMAIN - PROTECT IN PLACE
- RF08: PROVIDE CROCKETS WITH MINIMUM 1/2 INCH PER FOOT SLOPE AT ALL MECHANICAL EQUIPMENT CURBS AND PADS AS REQUIRED FOR PROPER DRAINAGE
- RF09: PROVIDE 4 INCH HIGH FIBER CANT STRIP AT ALL NEW MECHANICAL EQUIPMENT CURBS, PADS, AND PARAPETS AS REQUIRED FOR PROPER DRAINAGE
- RF10: NEW MECHANICAL PLATFORM - REFER TO DETAIL S1A3.2 AND STRUCTURAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- RF11: NEW GREASE EXHAUST FAN - REFER TO MECHANICAL DRAWINGS
- RF12: MAKE-UP AIR UNIT ON PLATFORM - REFER TO FOOD SERVICE DRAWINGS
- RF13: REFRIGERATION RACK - REFER TO FOOD SERVICE DRAWINGS
- RF14: ILLUMINATED SIGN PROVIDED AND INSTALLED BY OTHERS - NC - POWER BY CONTRACTOR - REFER TO ELECTRICAL DRAWINGS
- RF15: LINE OF 10 FOOT RADIUS CLEARANCE AT NEW EXHAUST FANS OR PLUMBING VENTS - NO FRESH AIR INTAKE WITHIN THIS AREA
- RF16: EXISTING MECHANICAL AC UNITS TO REMAIN - PROTECT IN PLACE
- RF17: SHEET METAL FLASHING - REFER TO DETAILS FOR CONFIGURATION - PAINT AS INDICATED ON EXTERIOR FINISH LEGEND
- RF18: WALK PADS AS APPROVED BY ROOFING MANUFACTURER
- RF19: NEW ROOF MOUNTED AC UNIT - REFER TO MECHANICAL DRAWINGS
- RF20: EXISTING CROCKET TO REMAIN - PROTECT IN PLACE
- RF21: TOILET EXHAUST FAN - REFER TO MECHANICAL DRAWINGS
- RF22: LINE OF WATER HEATER VENT OUTLET - REFER TO PLUMBING DRAWINGS
- RF23: EXISTING ROOF ACCESS TO REMAIN - PROTECT IN PLACE
- RF24: LINE OF WATER HEATER VENT ORIGIN ON SPACE BELOW
- RF25: ROUTING OF WATER HEATER VENT - REFER TO PLUMBING DRAWINGS - SLOPE AS REQUIRED
- RF26: GREASE GUARD AT EXHAUST FANS - REFER TO DETAIL S1A8.7

ROOF DETAILS

REFER TO DRAWING A3.2 FOR GENERAL ROOF DETAILS
 ALL ROOF DETAILS REFERENCE MINIMUM STANDARDS AND REPRESENT MINIMUM CONSTRUCTION REQUIREMENTS - CONTRACTOR IS REQUIRED TO UTILIZE THE LANDLORD'S APPROVED ROOFING SUBCONTRACTOR - FOLLOW ALL LANDLORD'S REQUIRED DETAILS AND SPECIFICATIONS

SYMBOLS LEGEND

DS	DOWNSPOUT - SCUPPER THROUGH PARAPET	T.O. PARAPET	TOP OF PARAPET ELEVATION
OS	OVERFLOW SCUPPER - THROUGH PARAPET	T.O. SHEATHING	TOP OF SHEATHING ELEVATION
RD	ROOF DRAIN - REFER TO PLUMBING DRAWINGS	T.O. FRAMING	TOP OF FRAMING ELEVATION
OD	OVERFLOW DRAIN - REFER TO PLUMBING DRAWINGS	T.O. WALL	TOP OF WALL ELEVATION
←	GENERAL DIRECTION OF ROOF SLOPE		

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SUBMITTAL DATES:

DESCRIPTION	DATE
AGENCY REVIEW / LL SUBMITTAL	12.02.19

REVISION DATES:

NO.	DESCRIPTION	DATE
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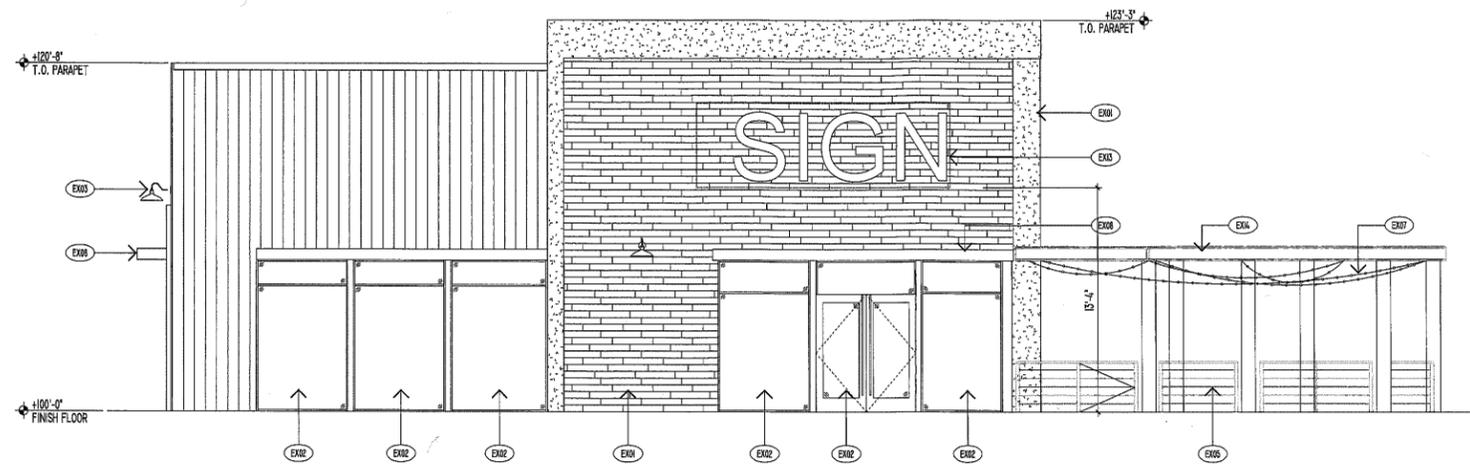


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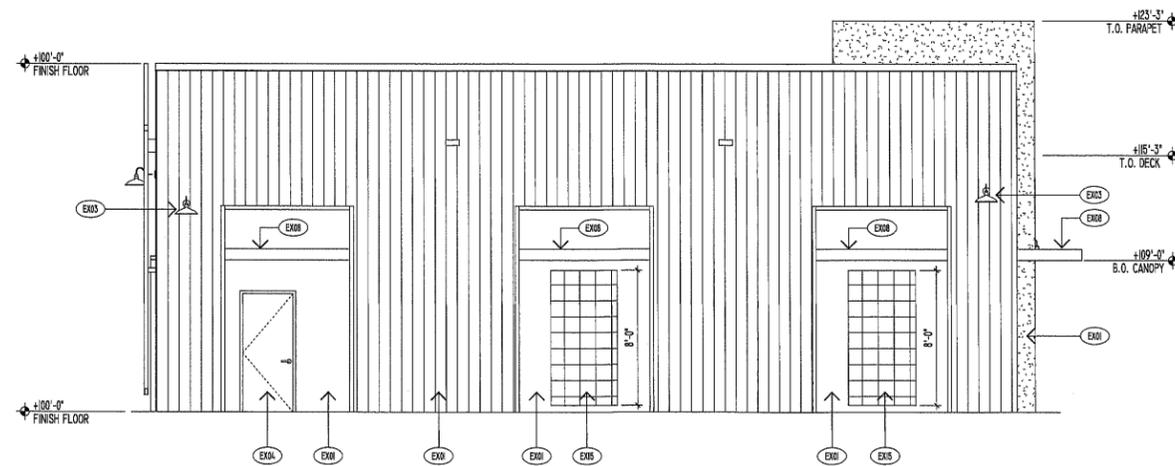
TITLE:
 ROOF AND MECHANICAL EQUIPMENT PLAN

ROOF KEY NOTES
 SHEET NUMBER:

A3.1



EAST BUILDING AND PATIO ELEVATION A
SCALE: 1/4" = 1'-0"



SOUTH BUILDING ELEVATION B
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION 0'-0" UNO - VERIFY MATERIAL / COLOR FINISHES WITH DRAWINGS AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO APPLYING ANY FINISH - FIELD VERIFY ALL ELEVATIONS AND DIMENSIONS

PROVIDE ADDRESS NUMBERS MINIMUM 6 INCHES HIGH IN CONTRASTING COLORS / MATERIALS TO BUILDING WHICH ARE VISIBLE DAY AND NIGHT AND LEGIBLE FROM STREET FRONTING PROPERTY

CALLK WINDOW AND DOOR FRAMES AND PENETRATIONS AT EXTERIOR FINISH - MASK GLAZING PRIOR TO PAINTING - INSTALL NEW ROOFING MATERIALS PRIOR TO EXTERIOR PLASTER APPLICATION

SIGNAGE IS BY OWNER'S VENDOR UNDER SEPARATE PERMIT / SUBMITTAL - POWER FOR ILLUMINATED SIGNAGE BY CONTRACTOR - LOCATION AND SIZE SHALL BE FIELD COORDINATED WITH SIGN VENDOR

PROVIDE 24 GAUGE MINIMUM GALVANIZED IRON FLASHING - PAINT WHEN EXPOSED TO PUBLIC VIEW - PROVIDE WEEP SCREWS WITH MINIMUM VERTICAL ATTACHMENT OF 3-1/2" INCHES AT FOUNDATION SILL PLATE OF EXTERIOR SIDA WALLS - COORDINATE GRADES AT PERIMETER OF BUILDING WITH CIVIL DRAWINGS OR EXISTING CONDITIONS AS WELL AS DISABLED ACCESS GUIDELINES AND DETAILS - NOTIFY ARCHITECT OF ANY DISCREPANCIES

REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS - LOCATE AS SHOWN ON ARCHITECTURAL DRAWINGS - NOTIFY ARCHITECT OF DISCREPANCIES

THE INTENTION OF BUILDING DESIGN IS THAT ALL MECHANICAL UNITS AND OTHER ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PARAPET OR ROOF MOUNTED SCREEN ELEMENTS - UNO - NOTIFY ARCHITECT IF FRAMED ELEVATIONS WILL NOT ACCOMPLISH SCREENING

WHERE EXTERIOR WOOD TRIM OR SIDING IS SPECIFIED USE HOT DIPPED GALVANIZED FASTENERS - INSTALL IN LONGEST PRACTICAL LENGTHS TO MINIMIZE JOINTS - PRIME PRIOR TO INSTALLATION

EXTERIOR WALL SHALL BE COMPLETE SYSTEM INCLUDING ALL STIFFENERS, FASTENERS, SEALANTS, ADHESIVES, MISCELLANEOUS FIXTURES AND MATERIAL THICKNESSES AS REQUIRED TO FORM A HIGH QUALITY WATERPROOF ENCLOSURE TO COMPLY WITH SPECIFICATIONS / PROFILES SHOWN - DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED - CONSULT ARCHITECT BEFORE PROCEEDING WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED

PROVIDE EXPANSION AND CONTROL JOINTS AS REQUIRED OR AS SHOWN - LOCATION OF EXPANSION AND CONTROL JOINTS SHALL BE REVIEWED WITH THE ARCHITECT

SEALANTS SHALL BE INSTALLED WITH APPROPRIATE JOINT FILLER - PROVIDE COLOR FOR SEALANTS EXPOSED TO VIEW AS SELECTED BY ARCHITECT - SEALANT MANUFACTURER SHALL VERIFY THAT ALL SEALANTS USED FOR EXTERIOR WALL ARE CORRECT FOR APPLICATION SHOWN AND COMPATIBLE WITH EACH OTHER BEFORE, DURING AND AFTER CURING

WHERE APPLICABLE - REFER TO ENLARGED ELEVATIONS, DETAILS, AND WALL SECTIONS FOR ADDITIONAL INFORMATION REGARDING EXTERIOR CONDITIONS

ALL EXTERIOR MATERIAL / FINISHES SHALL WRAP OUTSIDE CORNERS AND END AT INSIDE CORNERS UNLESS NOTED OTHERWISE - MATERIAL AND FINISH TERMINATION POINT SHALL BE AS DETERMINED BY ARCHITECT WHERE NOT SPECIFICALLY SHOWN OR NOTED IN DRAWINGS - REVEALS AND FINISHES SHALL NOT END AT AN OUTSIDE CORNER UNLESS SPECIFICALLY NOTED OR DETAILED AS SUCH

KEY NOTES

- EX01: EXISTING EXTERIOR FINISHES TO REMAIN - PROTECT IN PLACE
- EX02: EXISTING ALUMINUM STOREFRONT WINDOWS AND DOORS TO REMAIN - PROTECT IN PLACE
- EX03: EXISTING LIGHT FIXTURE TO REMAIN - PROTECT IN PLACE
- EX04: EXISTING DOOR TO REMAIN - PROTECT IN PLACE
- EX05: EXISTING METAL RAILING AT PATIO - PROTECT IN PLACE
- EX06: TRANSLUCENT GLASS IN EXISTING ALUMINUM STOREFRONT FRAMES
- EX07: NEW STRING LIGHTS
- EX08: EXISTING METAL RAINING TO REMAIN
- EX09: EXISTING ROOF ACCESS LADDER
- EX10: ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- EX11: EXISTING TRASH ENCLOSURE
- EX12: MAIN SERVICE SWITCHBOARD - REFER TO ELECTRICAL
- EX13: SIGN LOCATION - PLYWOOD BACKING PROVIDED BY LANDLORD
- EX14: EXISTING METAL CANOPY - PROTECT IN PLACE
- EX15: EXISTING GREEN SCREEN - PROTECT IN PLACE

EXTERIOR FINISHES

PT = PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW628 TRICORN BLACK
FINISH: SATIN

SYMBOLS LEGEND

MATERIAL AND FINISH INDICATOR - REFER TO FINISH LEGEND

AT EXTERIOR PLASTER - PROVIDE PREFABRICATED METAL CONTROL OR EXPANSION JOINTS AT LOCATIONS SHOWN - METAL LATH TO STOP ON EITHER SIDE OF JOINT

CJ PLASTER CONTROL JOINT OF COLOR TO MATCH ADJACENT SURFACES - MFR: AMICO ZINC CONTROL JOINT NO. C2086-1/4"

EJ EXPANSION JOINT OF COLOR TO MATCH ADJACENT SURFACES - MFR: AMICO GRIPLUCK EXPANSION JOINT NO. J-1/2"

T TEMPERED GLASS
S SPANDREL GLASS

TS TEMPERED SPANDREL GLASS
SG SAFETY GLASS

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO ARCHITECT, WHO SHALL REVIEW THEM FOR GENERAL CONFORMANCE WITH THE BUILDING DESIGN - VENDOR SHALL BE RESPONSIBLE FOR SUBMITTING REVIEWED SUBMITTAL DRAWINGS AND CALCULATIONS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL - DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY BUILDING DEPARTMENT - DEFERRED SUBMITTALS ARE AS FOLLOWS:

ILLUMINATED AND NON-ILLUMINATED EXTERIOR SIGNAGE

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SCALES AS STATED ARE VALID ONLY ON ORIGINAL DRAWING - THE DIMENSIONS OF WHICH ARE 34 INCHES X 44 INCHES

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FISH GRILL
RESTAURANT TENANT IMPROVEMENT
THE RANCH - BUILDING "C"
SW CORNER OF VERDUGO AVENUE AND HOLLYWOOD WAY
551 NORTH HOLLYWOOD WAY
BURBANK, CA 91505

SUBMITTAL DATES:

DESCRIPTION	DATE
AGENCY REVIEW / LL SUBMITTAL	12.02.19

REVISION DATES:

NO.	DESCRIPTION	DATE
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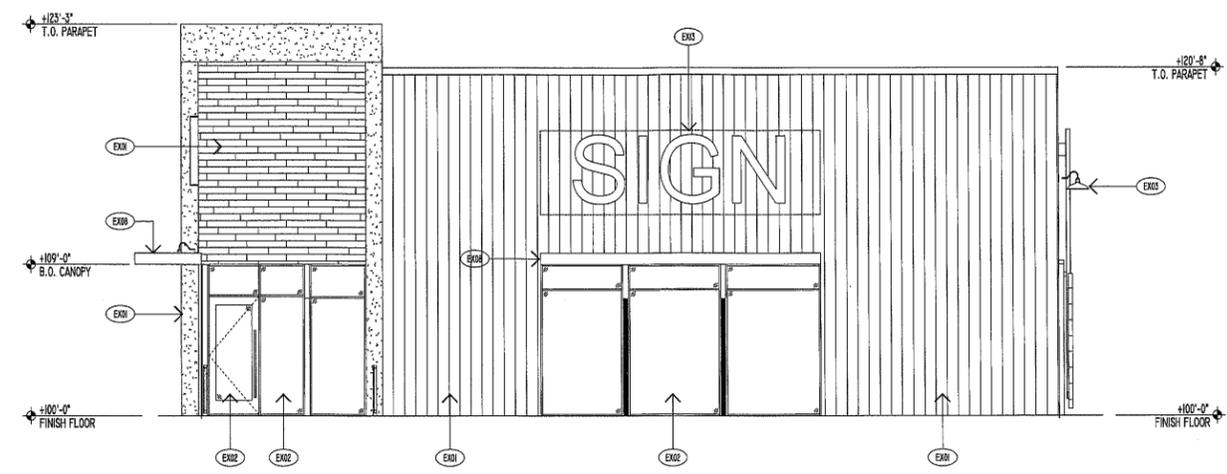
PROFESSIONAL SEAL:

PROJECT NUMBER:
TRA JOB NO. 18076

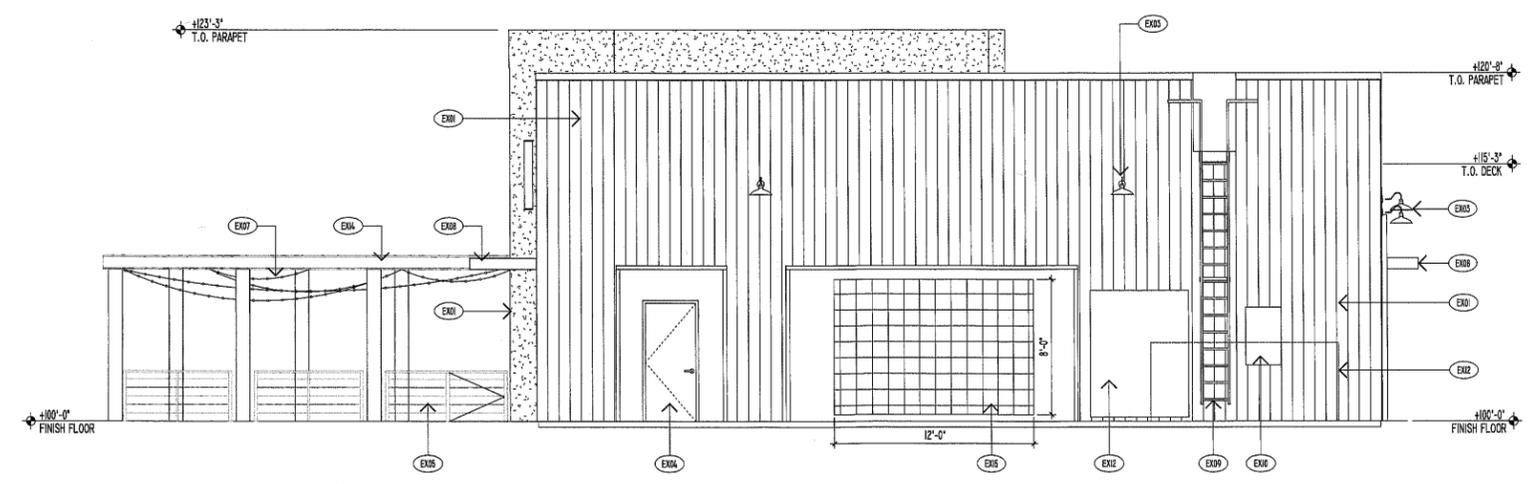
TITLE:
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER:

A4.1



EAST BUILDING ELEVATION A
SCALE: 1/4" = 1'-0"



EAST BUILDING AND PATIO ELEVATION B
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

HEIGHT REFERENCES TAKEN FROM DATUM FINISH FLOOR ELEVATION 0'-0" UNO - VERIFY MATERIAL / COLOR FINISHES WITH DRAWINGS AND NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO APPLYING ANY FINISH - FIELD VERIFY ALL ELEVATIONS AND DIMENSIONS

PROVIDE ADDRESS NUMBERS MINIMUM 6 INCHES HIGH IN CONTRASTING COLORS / MATERIALS TO BUILDING WHICH ARE VISIBLE DAY AND NIGHT AND LEGIBLE FROM STREET FRONTING PROPERTY

CALLK WINDOW AND DOOR FRAMES AND PENETRATIONS AT EXTERIOR FINISH - MASK GLAZING PRIOR TO PAINTING - INSTALL NEW ROOFING MATERIALS PRIOR TO EXTERIOR PLASTER APPLICATION

SIGNAGE IS BY OWNER'S VENDOR UNDER SEPARATE PERMIT / SUBMITTAL - POWER FOR ILLUMINATED SIGNAGE BY CONTRACTOR - LOCATION AND SIZE SHALL BE FIELD COORDINATED WITH SIGN VENDOR

PROVIDE 24 GAUGE MINIMUM GALVANIZED IRON FLASHING - PAINT WHEN EXPOSED TO PUBLIC VIEW - PROVIDE WEEP SCREENS WITH MINIMUM VERTICAL ATTACHMENT OF 3-1/2 INCHES AT FOUNDATION SILL PLATE OF EXTERIOR STUD WALLS - COORDINATE GRADES AT PERIMETER OF BUILDING WITH CIVIL DRAWINGS OR EXISTING CONDITIONS AS WELL AS DISABLED ACCESS GUIDELINES AND DETAILS - NOTIFY ARCHITECT OF ANY DISCREPANCIES

REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS - LOCATE AS SHOWN ON ARCHITECTURAL DRAWINGS - NOTIFY ARCHITECT OF DISCREPANCIES

THE INTENTION OF BUILDING DESIGN IS THAT ALL MECHANICAL UNITS AND OTHER ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW BY PARAPET OR ROOF MOUNTED SCREEN ELEMENTS - UNO - NOTIFY ARCHITECT IF FRAMED ELEVATIONS WILL NOT ACCOMPLISH SCREENING

WHERE EXTERIOR WOOD TRIM OR SIDING IS SPECIFIED: USE HOT DIPPED GALVANIZED FASTENERS - INSTALL IN LONGEST PRACTICAL LENGTHS TO MINIMIZE JOINTS - PRIME PRIOR TO INSTALLATION

EXTERIOR WALL SHALL BE COMPLETE SYSTEM INCLUDING ALL STIFFENERS, FASTENERS, SEALANTS, ADHESIVES, MISCELLANEOUS PIECES, AND MATERIAL THICKNESSES AS REQUIRED TO FORM A HIGH QUALITY WATERPROOF ENCLOSURE TO COMPLY WITH SPECIFICATIONS / PROFILES SHOWN - DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED - CONSULT ARCHITECT BEFORE PROCEEDING WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED

PROVIDE EXPANSION AND CONTROL JOINTS AS REQUIRED OR AS SHOWN - LOCATION OF EXPANSION AND CONTROL JOINTS SHALL BE REVIEWED WITH THE ARCHITECT

SEALANTS SHALL BE INSTALLED WITH APPROPRIATE JOINT FILLER - PROVIDE COLOR FOR SEALANTS EXPOSED TO VIEW AS SELECTED BY ARCHITECT - SEALANT MANUFACTURER SHALL VERIFY THAT ALL SEALANTS USED FOR EXTERIOR WALL ARE CORRECT FOR APPLICATION SHOWN AND COMPATIBLE WITH EACH OTHER BEFORE, DURING AND AFTER CURING

WHERE APPLICABLE - REFER TO ENLARGED ELEVATIONS, DETAILS, AND WALL SECTIONS FOR ADDITIONAL INFORMATION REGARDING EXTERIOR CONDITIONS

ALL EXTERIOR MATERIAL / FINISHES SHALL WRAP OUTSIDE CORNERS AND END AT INSIDE CORNERS UNLESS NOTED OTHERWISE - MATERIAL AND FINISH TERMINATION POINT SHALL BE AS DETERMINED BY ARCHITECT WHERE NOT SPECIFICALLY SHOWN OR NOTED IN DRAWINGS - REVEALS AND FINISHES SHALL NOT END AT AN OUTSIDE CORNER UNLESS SPECIFICALLY NOTED OR DETAILED AS SUCH

KEY NOTES

- EX01: EXISTING EXTERIOR FINISHES TO REMAIN - PROTECT IN PLACE
- EX02: EXISTING ALUMINUM STOREFRONT WINDOWS AND DOORS TO REMAIN - PROTECT IN PLACE
- EX03: EXISTING LIGHT FIXTURE TO REMAIN - PROTECT IN PLACE
- EX04: EXISTING DOOR TO REMAIN - PROTECT IN PLACE
- EX05: EXISTING METAL RAILING AT PATIO - PROTECT IN PLACE
- EX06: TRANSLUCENT GLASS IN EXISTING ALUMINUM STOREFRONT FRAMES
- EX07: NEW STRING LIGHTS
- EX08: EXISTING METAL AWNING TO REMAIN
- EX09: EXISTING ROOF ACCESS LADDER
- EX10: ELECTRICAL PANEL - REFER TO ELECTRICAL DRAWINGS
- EX11: EXISTING TRASH ENCLOSURE
- EX12: MAIN SERVICE SWITCHBOARD - REFER TO ELECTRICAL
- EX13: SIGN LOCATION - PLYWOOD BACKING PROVIDED BY LANDLORD
- EX14: EXISTING METAL CANOPY - PROTECT IN PLACE
- EX15: EXISTING GREEN SCREEN - PROTECT IN PLACE

EXTERIOR FINISHES

PT-A PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW6258 TRICORN BLACK
FINISH: SATIN

SYMBOLS LEGEND

AT EXTERIOR PLASTER - PROVIDE PREFABRICATED METAL CONTROL OR EXPANSION JOINTS AT LOCATIONS SHOWN - METAL LATH TO STOP ON EITHER SIDE OF JOINT

CJ PLASTER CONTROL JOINT OF COLOR TO MATCH ADJACENT SURFACES - MFR: AMCO ZINC CONTROL JOINT NO. C288-1/4"

T TEMPERED GLASS

S SPANDREL GLASS

EJ EXPANSION JOINT OF COLOR TO MATCH ADJACENT SURFACES - MFR: AMCO GRIPLOCK EXPANSION JOINT NO. J-1/2"

TS TEMPERED SPANDREL GLASS

SG SAFETY GLASS

DEFERRED SUBMITTALS

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO ARCHITECT, WHO SHALL REVIEW THEM FOR GENERAL CONFORMANCE WITH THE BUILDING DESIGN - VENDOR SHALL BE RESPONSIBLE FOR SUBMITTING REVIEWED SUBMITTAL DRAWINGS AND CALCULATIONS TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL - DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY BUILDING DEPARTMENT - DEFERRED SUBMITTALS ARE AS FOLLOWS:

ILLUMINATED AND NON-ILLUMINATED EXTERIOR SIGNAGE

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