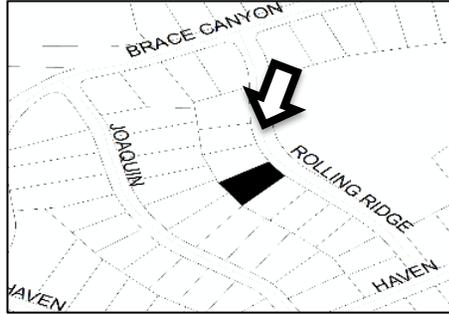


## Public Notice

**Proposed construction of an 831 square foot second-story addition with a 258 square foot open-trellis balcony to the existing 2,160 square foot single-story house at 3001 Rolling Ridge Drive.**



### What is this?

This notice is to let you know the City of Burbank Community Development Director will make a decision to approve or deny an application for a Hillside Development Permit (HDP) and Single-Family Special Development Permit. The Project consists of a proposed 831 square foot second-story addition with a 258 square foot open-trellis balcony to the existing 2,160 square foot single-story house. As part of the HDP request, the applicant is requesting a Fence Exception Permit to allow new hedges at a maximum height of 8'-0" throughout the side and rear yard portions of the project site. The Floor Area Ratio is proposed at 38 percent with the proposed building height at 24'-11". There is an existing 400 square foot attached garage that will remain. The project also includes proposed interior remodeling of the existing house. The subject property is located in the R-1 (Single Family Residential) zone within the designated hillside area. This project has been determined to be exempt from the California Environmental Quality Act (CEQA) under Guidelines Section 15301(e) (Existing Facilities) for small additions to existing structures.

### Why am I getting this?

You are getting this notice because the proposed project is located near where you live or own property. This notice was mailed to all residents and property owners within 300 feet of the project to solicit input prior to the final decision. Because you have the right to appeal the decision of the Director to the Planning Board, whether the project is approved or denied, we wanted you to know about options for participating: call or write to tell us what you think about the project, and/or appeal the Director's decision.

The Community Development Director will make a decision to approve or deny this project on **October 22, 2020**. You may provide input prior to this decision. You also have a right to appeal the decision within 15 days of the date the decision is made (any appeal must be filed with the applicable appeal fee *no later than 5:00 p.m. on November 6, 2020*).

### How do I find out more or participate?

☎ Call the project planner, David Kim, at 818-238-5250

✉ E-mail the project planner at: [dkim@burbankca.gov](mailto:dkim@burbankca.gov)

📖 View documents related to this project online at:

<http://www.burbankca.gov/pendingprojects>

Notice: Pursuant to Section 65009 of the California Government Code, if you challenge the proposed project in court, you may be limited to raising only those issues that you or someone else raised at the Planning Board public hearing described in this notice, or in written correspondence delivered to the Planning Board at, or prior to, the public hearing.



Date: October 7, 2020

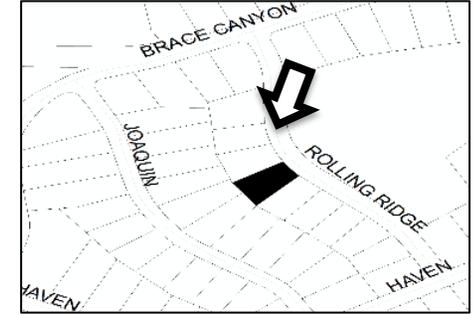
Project: Planning Permit No. 18-0000842

Burbank Planning Division -

<http://www.burbankca.gov/departments/community-development/planning>

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Date: October 7, 2020

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